



THIS CONTRACT is hereby made, entered into, and effective as of July 01, 2025, by and between GUILFORD COUNTY, a body politic and corporate of the State of North Carolina, hereinafter referred to as the "COUNTY," and CPL Architects and Engineers, P.C., hereinafter referred to as the "CONTRACTOR," and also collectively referred to as the "Parties."

W I T N E S S E T H:

WHEREAS, for the purpose and subject to the terms and conditions hereinafter set forth, the COUNTY hereby contracts for the items, goods, service or services of the CONTRACTOR and the CONTRACTOR agrees to provide the items, goods, service or services to the COUNTY in accordance with the terms of this Agreement.

WHEREAS, the COUNTY is in need of a Design Fee Proposal for the Architectural and Engineering Services necessary for the Guilford County Women with Children Recovery Program located at 5209 West Wendover Ave, High Point, NC 27265, - BID 20271, and,

WHEREAS, the CONTRACTOR has submitted a proposal to provide such goods and/or services.

NOW, THEREFORE, in consideration of promises mutually exchanged the Parties agree as follows:

- 1. GOODS AND/OR SERVICES.** CONTRACTOR will provide the goods and/or services as set forth in the Specifications (Attachment A) and Proposal (Attachment B), attached hereto and incorporated herein by reference. All items and/or services shall be provided in a competent, workmanlike and professional manner acceptable to the COUNTY. Should there be any discrepancy between the CONTRACTOR'S Proposal (Attachment B) and the Specifications (Attachment A) and/or the Contract, the Contract shall prevail and control.
- 2. PAYMENT AND PRICING.** As full compensation for the CONTRACTOR'S delivery of the goods and/or services, the COUNTY agrees to pay the amounts for the goods and/or services as set out herein and in Attachment B, which is attached hereto and incorporated herein by reference. Payment will be made by the COUNTY to CONTRACTOR within thirty (30) days of receipt of a correct invoice and proper documentation that the goods and/or services have been delivered or provided in accordance with this Contract.
- 3. MAXIMUM EXPOSURE CONTRACT.** The maximum financial exposure to the COUNTY under this Contract will not exceed \$577,210.00. Payment will be made only from budgeted funds in accordance with N.C.G.S. Chapter 159.
- 4. APPROPRIATION.** This Contract is subject to annual appropriation of funds by the GUILFORD COUNTY Board of Commissioners or other funding source, pursuant to N.C.G.S. Chapter §153A-13.
- 5. TERM.** Unless terminated as provided herein, this Contract shall be in effect for One year and a half, beginning July 01, 2025, and ending January 30, 2027, with No. (0) renewal options.

6. AMENDMENTS. The terms of this Agreement may only be modified or revised with a written Contract executed by both Parties.

7. TERMINATION.

TERMINATION WITHOUT CAUSE.

COUNTY may terminate this Contract without cause or penalty upon serving a Thirty (30) day written notice to the CONTRACTOR. Subject to this Contract's provisions regarding breach, all goods and/or services provided and accepted as of the date of termination will be paid; similarly, amounts paid in advance, if any, for which deliverables have not been provided and accepted by COUNTY will be promptly refunded to COUNTY by CONTRACTOR within thirty (30) days of date of termination of this Contract.

TERMINATION FOR CAUSE.

If, through any cause, the CONTRACTOR shall fail to fulfill its obligations under this contract in a timely and proper manner, the COUNTY shall have the right to terminate this Contract by giving written notice to the CONTRACTOR and specifying the effective date thereof. In that event, all finished or unfinished deliverable items prepared by the CONTRACTOR under this contract shall, at the option of the COUNTY, become its property and the CONTRACTOR shall be entitled to receive just and equitable compensation for any satisfactory work completed on such materials, minus any payment or compensation previously made. Notwithstanding the foregoing provision, the CONTRACTOR shall not be relieved of liability to the COUNTY for damages sustained by the COUNTY by virtue of the CONTRACTOR'S breach of this Agreement, and the COUNTY may withhold any payment due the CONTRACTOR for the purpose of setoff until such time as the exact amount of damages due the COUNTY from such breach can be determined. In case of default by the CONTRACTOR, without limiting any other remedies for breach available to it, the COUNTY may procure the contracts services from other sources and hold the CONTRACTOR responsible for any excess cost occasioned thereby. The filing of a petition for bankruptcy by the CONTRACTOR shall be an act of default under this Contract.

8. BREACH. If, through any cause, CONTRACTOR or COUNTY ("the breaching party") shall fail to fulfill its obligations under this Contract in a timely and/or proper manner ("breach"), either in whole or in part, and such breach has continued for a period of more than ten (10) days after the other party ("the non-breaching party") has notified the breaching party of such breach, in addition to the right to terminate the Contract upon notice to the breaching party, the non-breaching party shall have all legal, equitable, and administrative rights available under applicable law. Without limiting other remedies, where COUNTY is the non-breaching party COUNTY may: Withhold any payment due CONTRACTOR for the purpose of setoff until such time as the exact amount of damages due COUNTY from such breach can be reasonably determined (at which time that amount shall be deducted from any payment(s) otherwise due to CONTRACTOR) and/or procure the contracted for services or goods from other sources and hold CONTRACTOR responsible for any excess cost occasioned thereby. The filing of a petition for bankruptcy by CONTRACTOR shall constitute an act of breach under this Contract.

9. EQUAL EMPLOYMENT OPPORTUNITIES. GUILFORD COUNTY and the awarded Vendor shall comply with Equal Employment Opportunities (EEO) requirements, and shall ensure that all individuals have an equal opportunity for employment without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, age, disability, genetic information, or veteran status under the Guilford County EEO Plan, as amended, implemented pursuant to 41 CFR Part 60-2.10(a)(3), 41 CFR §60-741.44(a) and 41 CFR §60-300.44(a), and in accordance with the following laws, as amended: Title VII and Title IX of the Civil Rights Act of 1964; The Equal Pay Act of 1963; the Age Discrimination in Employment Act of 1967; the Rehabilitation Act of 1973, as amended (Section 503); the Americans with Disabilities Act of 1990; the Vietnam Era Veterans' Readjustment Assistance Act of 1974 (VEVRAA); the Civil Rights Restoration Act of 1988; NC General Statutes Chapters 116 and 126 and Title II of the Genetic Information Nondiscrimination Act of 2008, the State of North Carolina Equal Employment Opportunity Policy revised April 2019, along with all other applicable federal and state laws governing equal employment opportunities.

10. FEDERAL FUNDING – UNIFORM GUIDANCE. The Parties agree that when utilizing federal funding in the performance of this Agreement, the Parties shall comply with all applicable provisions of 2 C.F.R. §200.326 and 2 C.F.R. Part 200, Appendix II, (Uniform Guidance), including, but not limited to: The Equal Employment Opportunity Clause (41 C.F.R. Part 60); Davis-Bacon Act (40 U.S.C. 3141-3148); Copeland “Anti-Kickback” Act (40 U.S.C. §3145, as supplemented by Department of Labor (DOL) regulations, 29 C.F.R. Part 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”); Contract Work Hours and Safety Standards Act (40 U.S.C. 3701-3708, as supplemented by DOL regulations at 29 C.F.R., Part 5. See 2 C.F.R. Part 200, Appendix II(E); Clean Air Act (42 U.S.C. 7401-7671q.) and the Federal Water Pollution Control Act, as amended (33 U.S.C. 1251-1387); Debarment and Suspension (Executive Orders 12549(1986) and 12689(1989) at 2 C.F.R. Part 180 and the DHS’ regulations at 2 C.F.R. Part 3000 (Nonprocurement Debarment and Suspension); Byrd Anti-Lobbying Amendment (31 U.S.C. 1352); Procurement of Recovered Materials (2 C.F.R. Part 200, Appendix II(J) and §200.322); Rights To Inventions by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements (37 C.F.R. Part 401); Record Retention Requirements (2 C.F.R. §200-324); and subsequent amendments, which are incorporated herein by reference.

11. NOTICES. All notices pursuant to this Agreement shall be in writing and delivered personally or mailed by certified mail, registered mail, postage prepaid, with return receipt requested, at the addresses appearing below, but each Party may change such address by written notice in accordance with this paragraph. Notices delivered personally will be deemed communicated as of actual receipt. Mailed notices will be deemed communicated as of three (3) days after mailing.

Michael Halford, Guilford County Manager
GUILFORD COUNTY
P.O. Box 3427 (zip code 27402)
301 West Market Street
Greensboro, NC 27401

CPL Architects and Engineers, P.C.
400 Bellemeade Street, Suite 401
Greensboro, NC 27401

12. INDEPENDENT CONTRACTOR/INDEMNIFICATION CONTRACTOR shall operate as an independent contractor for all purposes. Nothing in this Agreement shall be interpreted or construed as creating or establishing the relationship of employer and employee between the COUNTY and either the CONTRACTOR or any employee or agent of CONTRACTOR. CONTRACTOR is an independent contractor and not an employee, agent, joint venture or partner of the COUNTY. The Parties agree to each be solely responsible for their own acts or omissions in the performance of each of their individual duties hereunder, and shall be financially and legally responsible for all liabilities, costs, damages, expenses and attorney fees resulting from, or attributable to any and all of their individual acts or omissions to the extent allowable by law.

13. ASSUMPTION. If CONTRACTOR should undergo merger, acquisition, bankruptcy or any change in their ownership or their name for any reason, CONTRACTOR must immediately notify GUILFORD COUNTY in writing of these changes and provide the COUNTY with legal documentation supporting these changes, such as an Assumption Agreement, Bill of Sale, Articles of Incorporation, Articles of Amendment, sales contract, merger documents, etc. Further, CONTRACTOR will submit the name and address of the assuming CONTRACTOR’S registered agent for service of process and/or all notices required under this Contract.

14. SEVERABILITY. If any provision of this Contract is held unenforceable, then such provision will be modified to reflect the Parties' intention. All remaining provisions of this Contract shall remain in full force and effect.

15. FORCE MAJEURE. Neither Party shall be liable to the other Party for any failure or delay caused by events beyond such Party's control and not due to its own negligence, provided that such Party uses commercially reasonable efforts to resume performance as soon as reasonably practicable. The non-performing Party shall notify the other Party of the force majeure event within twenty-four (24) hours of the onset thereof. In the event that a force majeure event precludes CONTRACTOR from performing services and/or providing goods for a period of ten (10) consecutive business days, the COUNTY shall have the right to: (a) procure replacement goods and/or services from an alternative source and/or (b) terminate the Contract or portion(s) of Contract upon written notice to CONTRACTOR.

16. HEADINGS/TITLES/WORDING. Inclusion of titles of paragraphs or section headings, capitalization of certain words or phrases and/or bold face typestyle of certain words or phrases in this Contract are for convenience purposes only and shall not be used to interpret or construe the provisions of this Agreement. The terms "Contract" and "Agreement" have the same meaning and may be used interchangeably throughout this document. The terms "Attachment" and "Exhibit" have the same meaning and may be used interchangeably throughout this document.

17. GUILFORD COUNTY LIABILITY INSURANCE REQUIREMENTS.

WORKERS COMPENSATION: CONTRACTOR agrees to maintain coverage to apply for all employees for statutory limits in compliance with the applicable state and federal laws. The policy must include employer's liability with limits of at least \$1,000,000.00 for each accident, \$1,000,000.00 for each employee, with at least a \$1,000,000.00 aggregate policy limit.

COMMERCIAL PROFESSIONAL LIABILITY: CONTRACTOR does hereby agree to maintain limits of at least \$1,000,000.00 per occurrence, per location, single limit for bodily injury liability and property damage liability, with at least a \$2,000,000.00 aggregate limit, per location. This shall include premises and/or operations, independent contractors, products and/or completed operations, broad form property damage and explosion, collapse and underground damage coverage, and a contractual liability endorsement.

BUSINESS AUTO LIABILITY: CONTRACTOR does hereby agree to maintain limits of at least \$1,000,000.00 per accident combined single limit for bodily injury liability and property damage. This should include owned vehicles, plus hired and non-owned vehicles.

COMMERCIAL GENERAL LIABILITY: CONTRACTOR does hereby agree to maintain limits of at least \$1,000,000.00 per occurrence, per location, single limit for bodily injury liability and property damage liability, with a \$2,000,000.00 aggregate limit, per location. This shall include premises and/or operations, independent contractors, products and/or completed operations, broad form property damage and explosion, collapse and underground damage coverage, and a contractual liability endorsement.

UNDERWRITING, ADDITIONAL INSURED, AND CANCELLATION NOTICE REQUIREMENTS: All insurance shall be written by companies with an AM Best rating "A" or higher. GUILFORD COUNTY shall be named as an additional insured on CONTRACTOR insurance policies, which shall be primary and not contributory to any other insurance that may be available to the COUNTY. Such certificates shall require that the policies shall not be canceled or reduced in coverage until thirty (30) days written notice of such cancellation or reduction has been received by CONTRACTOR and GUILFORD COUNTY.

MAINTENANCE OF INSURANCE COVERAGE AND RENEWAL DOCUMENTATION: CONTRACTOR original insurance policies or certified copies of policies may be required by COUNTY at any time. Current, valid insurance policies meeting the requirements stated herein shall be maintained for the duration of the Agreement. Renewed policies shall be sent to the COUNTY at the above address thirty (30) days prior to any expiration date.

Upon the COUNTY'S offer of award of this Agreement, CONTRACTOR will provide Certificates of Insurance for meeting the required insurance provisions. The Certificate of Liability shall state, "Guilford County is added as an additional insured as evidenced by the endorsement attached to this Certificate." CONTRACTOR will provide copies of insurance certificate(s) Guilford County Purchasing with their award package.

All insurance documents required under this Contract shall be forwarded to:

GUILFORD COUNTY

Attention: Risk Management

301 West Market Street

Greensboro, NC 27401

Reference: GUILFORD COUNTY CONTRACT NO. **90007380**

With CONTRACTOR'S NAME: CPL Architects and Engineers, P.C.

In the event CONTRACTOR fails to maintain and keep in force for the duration of this Contract the insurance required herein, the COUNTY may cancel and terminate this Contract without notice.

18. ENTIRE AGREEMENT. This Contract, including the Exhibits and/or Attachments, if any, sets forth the entire Agreement between the Parties. All prior conversations or writings between the Parties hereto or their representatives are merged within and extinguished. This Contract shall not be modified except by a writing subscribed to by all the Parties.

19. JURISDICTION. The Parties agree that this Contract is subject to the jurisdiction and laws of the State of North Carolina. The CONTRACTOR will comply with bid restrictions, if any, and applicable laws, including N.C.G.S. §143-129(j) regarding E-Verify. Any controversies arising out of this Contract shall be governed by and construed in accordance with the laws of the State of North Carolina.

(The remainder of this page is intentionally left blank.
This Contract continues with signatures on the following page.)

Eric Hilton
Guilford County Department Director / Designee



GUILFORD COUNTY MWBE DEPARTMENT COMPLIANCE LETTER

Date: Wednesday, March 19, 2025

Prepared By: Ferrelli McGilvary, Compliance + Data Officer

SOLICITATION DEVELOPMENT STAGE

Project Description

Bid 20271 Renovations at the Women with Children Recovery Center at Gibson Park
Request for Qualification (RFQ) for A/E

Scope Review Compliance

The MWBE Department met with Facilities and the County Manager's Office on Tuesday, March 18, 2025 to review the scope, scope adjustment was Not Recommended

MWBE Department Established Contracting Goals Review Compliance

There are two (2) Goals for this project:

1. 10 % Established Goal
2. 15 % Aspirational Goal

Per the Board of Commissioners adopted MWBE Procedure Manual, Section C, Race and Gender Conscious Program Elements, 1.2.1 Approval - *All MWBE goals must be approved by the MWBE Program Director before advertising the Solicitation Documents.*

MWBE Approval to Advertise Solicitation

The MWBE Deputy Director Maria Miles has approved the subject solicitation for advertisement. The remainder of this document will be completed for final compliance before the contract award once the Department submits its Recommendation of Award (ROA). The MWBE Department shall be included on the Evaluation Team for this Bid.

Maria Miles

Maria Miles, Deputy Director



GUILFORD COUNTY MWBE DEPARTMENT COMPLIANCE LETTER

Department Recommendation of Award Date: June 13, 2025

Prepared By: Maria Miles, June 16, 2025

MWBE Vendor Notification Compliance

The MWBE Department conducted outreach efforts **seventeen (17) days** prior to the Bid due date. Per the Board of Commissioners adopted MWBE Procedure Manual, Section C, Race and Gender Conscious Program Elements, 1.10 Project Notification- *At least ten (10) Days before the Opening of Bids/Proposals, a Project Notification shall be provided to MWBEs to inform them of: (i) the applicable Goal; (ii) the description of work being solicited, (iii) date, time, and location where a Bid/Proposal must be submitted; (iv) contact information for any County personnel who could answer questions about the Contract; (v) how to access the Solicitation Documents; and (vi) any special requirements that may exist.*

MWBE Department Pre-Bid Inclusion Compliance

Purchasing notified the MWBE Department of the Pre-Proposal meeting and were included in the evaluation process,

BID/PROPOSAL EVALUATION STAGE

MWBE Department Evaluation Inclusion Compliance

The bid was issued Request for Qualifications for A/E, as such the standard of award is qualification based without regard to pricing. The vendor met that requirement. Bids were received from the following firms:

- 1-CPL Architects and Engineers, PC
- 2-HH Architecture
- 3-Integrated Design, PA
- 4-SDV Décor, LLC
- 5-Walter Robbs Architects – a Michael Graves Company
- 6-West & Stern Architects



GUILFORD COUNTY MWBE DEPARTMENT COMPLIANCE LETTER

SOLICITATION AWARD STAGE

MWBE Program Office Goals Review

Per NC GS 143-128.2. Minority Participation goals, Guilford County has adopted the state minority business participation goal of 10%. Guilford County shall establish a 10% minority goal on all projects greater than \$30,000.

On February 2017, Guilford County Board of Commissioners established an aspirational MWBE participation goal of fifteen percent (15%), as recorded in the approved meeting minutes. Guilford County encourages each contractor to meet or exceed the aspirational goals in recruiting MWBE providers.

The following goals were established for Bid 20271-Renovations for Women with Children Recovery Program at Gibson Park Design Services.

Established Goal	Aspirational Goal	Vendor Committed Goal
10%	15%	24.07%

The following goal(s) were committed to by CPL Architects, PC on a contract amount of \$577,210 for the design, bidding, and construction administration needed to complete the project.

Subcontractor Name	Revington Reaves
Work Scope	Landscape Architecture
NC HUB Certification	WBE
NC-HUB Ethnicity	White Female
Percent (%) Committed	9.13%
Amount Committed	\$52,720
Subcontractor Name	Westcott Small
Work Scope	Civil Engineering
NC HUB Certification	WBE
NC-HUB Ethnicity	White Female
Percent (%) Committed	11.82%
Amount Committed	\$68,210
Subcontractor Name	Bree & Associates
Work Scope	Cost Estimating
NC HUB Certification	MBE
NC-HUB Ethnicity	Black
Percent (%) Committed	\$18,000
Amount Committed	3.12%



GUILFORD COUNTY MWBE DEPARTMENT COMPLIANCE LETTER

Good Faith Efforts Review

In accordance with NC GS 143-128.2(f), Minority business participation goals, and NC GS 143-131(b), a review of good faith efforts where the established goal has been met or exceeded is not required.

MWBE Department Award Recommendation

Please accept this as verification and certification that:

1. The bid opportunity, scope review, established goals, solicitation documents, and bid process identified above complied with all requirements set forth in the Board adopted MWBE Policy and Procedure Manual.
2. The MWBE Department supports and recommends this contract for the award as presented.

Maria Miles

Maria Miles, Deputy Director



Request for Qualifications

For

Design Services for

**Renovations for the Women with Children Recovery
Program at Gibson Park**

Bid Number: 20271

Commodity Code(s):

20812, 20914, 30571, 30542, 90604, 90607, 90610, 90619,
90627, 90629-30, 90633, 90638, 90640, 90656, 90660, 90674, 90678,
90688, 90690, 91815, 91842, 92064, 92507, 92517, 92519, 92522,
92522, 92531, 92535, 92538

Guilford County Purchasing Department
Guilford County Katie S. Cashion Center, Basement-Suite 072
201 South Greene Street
Greensboro, NC 27402

PROPOSAL SCHEDULE

(Note: The dates below are subject to change)

Request for Letters of Interest and Qualifications

for

Design Services for

**Renovations for the Women with Children Recovery
Program at Gibson Park**

Bid Number 20271

Advertisement Date	April 1, 2025
Non-Mandatory Pre-Proposal ZoomGov Meeting	April 8, 2025, at 10:00 A.M., Eastern Time
Non-Mandatory Site Walkthrough	April 8, 2025, at 2:00 P.M., Eastern Time
Last Day for Questions	April 15, 2025, at 2:00 P.M., Eastern Time
Proposal Due Date	April 24, 2025, at 2:00 P.M., Eastern Time

I. Project Description

Guilford County is seeking letters of interest from qualified professionals for Design Services for the renovations for the Women and Children's Residential Recovery Program at Gibson Park, located at 5209 West Wendover Avenue, High Point, NC 27265. The intent of this RFQ is to select a design team by qualifications-based selection to provide design services to accomplish the renovation goals of Guilford County.

The existing 29,967 square foot facility was completed as a Substance Abuse Center in 1995. The current facility will be vacated in the fall of 2025 and renovated to create a Women with Children Recovery Program. The Women with Children Recovery Program is part of the overarching strategy to provide support, treatment, and resources to people engaging in recovery services by increasing access to mid- and long-term residential recovery services for the entire community. The proposed services include 24-hour residential substance use recovery specifically tailored for pregnant women and women with dependent children. The facility is anticipated to provide ASAM Level 2.1, ASAM Level 2.5, and ASAM 3.5 services. The County intends to operate a facility licensed under .4100, .4400, and .4500DHSR regulations. All work must comply with NC Building codes and DHSR codes governing the service provided.

The existing facility will need the following upfits/renovations:

1. Internal space configuration requiring modifications of walls to accommodate the new operational use. A conceptual floor plan is attached based on initial programming meetings with the service provider Volunteers of America (VOA).
2. External upgrades for exterior fitness areas including playground equipment, covered patios, sidewalk improvements, landscaping improvements, parking lot lighting, and fencing.
3. Evaluation of existing windows for operability, and replacements as necessary.
4. Interior finish repairs and upgrades (cove base, floor tiles, ceilings, paint, signage, etc.)
5. Evaluation of existing hardware for the new operational use and installation of door access control system.
6. The existing roof is a shingle roof, which has been recently replaced and is still under warranty.
7. Renovation of kitchen serving area as well as evaluation of the remainder of the kitchen equipment to determine what equipment needs replacement.
8. New FF&E to meet DHSR requirements. Note: The DHSR usage classification does not include anti-ligature provisions.
9. Evaluate compliance with energy codes to meet NC Building code requirements
10. Replacement of fire alarm system.
11. Replacement of the existing emergency back-up generator.
12. Installation of necessary low voltage wiring to support alarms, cameras and IT infrastructure
13. Replacement of existing interior and exterior lighting with potential for replacement or upgrades.
14. Replacement of existing electrical outlets with child-proof outlets.
15. Evaluation/ replacement of plumbing fixtures.
16. Reconfiguration of existing recently replaced HVAC components.

The design team will:

- Review existing as-built documentation
- Perform site visits and observations to validate existing conditions and identify unknown items.
- Provide scope of work and project manual to execute the renovations.
- Provide an estimated schedule for renovations.
- Provide design development (DD) and sealed construction drawings (CD)
- Provide an estimate of the probable cost for renovations.
- Assist in the preparation of bid packages and bid tabulation
- Provide construction administration services during construction (CA)

II. General Information

Pre-Proposal Meeting

A non-mandatory Pre-Proposal ZoomGov Meeting will be held on Tuesday, April 8, 2025, at 10:00 AM as instructed below. You may join the ZoomGov Meeting from your computer, tablet or smartphone

For the best results, use Chrome as your web Browser:

<https://www.zoomgov.com/j/1600880318?pwd=5XeCoyyJyUJpV0PsAY9nnpkE4fztwt.1>

Meeting ID: 160 088 0318

Passcode: 109903

One tap mobile

+16692545252,,1600880318# US (San Jose)

+16468287666,,1600880318# US (New York)

Dial by your location

- +1 669 254 5252 US (San Jose)
- +1 646 828 7666 US (New York)
- +1 646 964 1167 US (US Spanish Line)
- +1 551 285 1373 US (New Jersey)
- +1 669 216 1590 US (San Jose)
- +1 415 449 4000 US (US Spanish Line)

Meeting ID: 160 088 0318

Find your local number: <https://www.zoomgov.com/u/ac3Udk2nRm>

Join by SIP

- 1600880318@sip.zoomgov.com

Join by H.323

- 161.199.138.10 (US West)
- 161.199.136.10 (US East)

A non-mandatory site walkthrough will be held on Tuesday, April 8, 2025, at 2:00PM, Eastern Time, located at 5209 West Wendover Avenue, High Point, NC 27265. The walkthrough will be conducted by Tari Maynor-Brady, Capital Projects Manager with the Guilford County Facilities Department.

III. Scope of Work

Guilford County is seeking Design Firms to perform the scope of services indicated below:

- A. Provide design development for the program elements listed above.
- B. Provide any surveying and testing required to gather information to make design decisions.
- C. Work with and coordinate with other firms to gather and assimilate pertinent in project.
- D. Provide basic architectural/engineering services as defined in Guilford County architectural contract resulting in design documents that can be advertised for bid.
- E. Provide construction cost estimate for complete remedy of existing problems.
- F. Provide design details and construction drawings for the purpose of bidding the construction activities based on findings.
- G. Provide interior design services including specifications for furniture bidding/ procurement.
- H. Prepare bid documents and bid services.
- I. Prepare permit review documents and provide support during permit reviews.
- J. Provide Construction Administration and Closeout services.

K. Guilford County may seek additional services in the contract.

Design Disciplines anticipated on this project include but are not limited to:

- A. Architecture
- B. Interior Design
- C. Hardware Specifications
- D. Civil Engineering including Site Surveys
- E. Structural Engineering
- F. Landscape Architecture/ Playground Design
- G. Mechanical Engineering including Plumbing and Sprinklers
- H. Electrical Engineering including Fire Alarm, Low-Voltage and Security Systems
- I. Kitchen Equipment Design
- J. Cost Estimation and Scheduling

Attached for reference are:

- A. Anticipated Overall Project Schedule
- B. Conceptual Demo Plan
- C. Conceptual New Work Plan
- D. Existing As-builts

IV. Criteria for Selection

The following criteria will be used to score the qualification packages to rank firms for a potential short list and/or interview. The percentages after each criteria indicate the weighting of that line item in the overall consideration.

A. Specialized or appropriate expertise in trauma informed residential recovery projects, highlighting any women with children project(s) and DHSR licensures.	25%
B. Current workload and state/local government projects awarded. Demonstrate the ability to immediately commit the required expertise to the project. Time is of the essence and the team must be dedicated to the evaluation and design efforts accurately and rapidly.	15%
C. Demonstrate the ability to assemble a comprehensive, well-coordinated set of construction documents.	10%
D. Ability to engage with historically underutilized business (HUB) entities in design and bid package preparation.	10%
E. Recent experience with project cost and scheduling	15%
F. Construction administration capabilities	10%
G. Proximity to and familiarity with the areas where the project is located	15%

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V. **Bid Requirements for Electronic Events**

1. All Respondents who plan to submit a proposal must register in the Guilford County's Vendor Self Service (VSS) System. Instructions to register as a Vendor, update registration and submit bids/proposals are available at: <https://www.guilfordcountync.gov/our-county/purchasing/vendor-self-service-vss-program>.
2. Electronic responses should be made through Guilford County's Vendor Self Service automated bidding system at: <https://guilfordcountync.munisselfservice.com>. **For best results, use Chrome as your web Browser.** Click on Vendor Self Service and use the arrow button in the top righthand corner to Login and submit your bid response. Click on the Bid Number to open it, then Click on Create Bid and follow the instructions for each tab. All responses must be submitted electronically by the event date and close time. There will be **NO EXCEPTIONS**. The system cannot accept late submittals.
3. All questions pertaining to this RFQ must emailed to the Guilford County Purchasing Department at DG_Purchasing@guilfordcountync.gov in accordance with this event schedule. The bid number and title of the project must be referenced in the email. Each question asked will be answered for all Respondents to view by way of an Addendum and posted in the automated bidding system. No question will be considered after the Q&A close date and time. **NO EXCEPTIONS**. Please note it is the Respondent's responsibility to review all questions, answers and attachments prior to submitting their response.
4. Respondents are responsible for checking the event for any addendums prior to completion and submission of their response. Addendum acknowledgement and requirements, if any, must be included in each submittal.
5. **No information regarding proposed feed is to be included in responses. However, to complete the items portion of a submittal in Vendor Self Service, open the items tab and only enter a dollar (\$1.00) in the online bid response.**
6. To complete an electronic submittal, be **sure to click the "Submit Bid" button**. Your response will not be part of the submitted responses until submitted via the "Submit Bid" button.
7. Respondents are strongly encouraged to submit their proposal with all required documentation at least twenty-four (24) hours in advance. The County will not be responsible for any technical difficulties that may arise and result in the inability to submit.
8. To receive future notification, you must be registered as a Vendor in the Guilford County's Vendor Self Service System under Commodity Code 20812, 20914,30571,30542, 90604, 90607,90610,90619, 90627, 90629-30, 90633, 90638, 90640, 90656, 90660, 90674, 90678, 90688, 90690, 91815, 91842, 92064, 92507, 92517, 92519, 92522, 92522,92531, 92535,92538 Vendors registered under the selected commodity code prior to the opening of this event will receive electronic notification(s) of the activity regarding changes made to the event; however, it is your responsibility to view the event for changes and updates.

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QUALIFICATIONS AND SUBMISSION REQUIREMENTS

In order to facilitate the analysis of responses to this RFQ, all Respondents are required to prepare their proposals in accordance with the instructions outlined in this section. To be considered for selection, upload your proposal into the County's Vendor Self Service System and submit all required supplemental information electronically. No information regarding proposed fees is to be included in responses. Proposals should be prepared as simple as possible and provide a straightforward, concise description of the Respondent's capabilities to satisfy the requirements of this RFQ. All pages in your response shall be properly formatted and provide the following basic information:

Failure to return all required supplemental information and attachments as outlined in Tab 1-8 may result in a Provider being deemed non-responsive.

Tab 1: Completed Information Sheet

- 1.1. On your completed **Information Sheet – Attachment 1**, please include the Primary Contact person's name and email address which will be used by the County for all future communication.

Tab 2: Letter of Interest (Cover Letter)

Tab 3: Project Team Organization Chart

- 3.1 Proposed design and consultant team with their qualifications and relevant project experience.

Tab 4: Relevant Experience & Other Important Factors

- 4.1 Specialized or appropriate expertise in this type of project.
- 4.2 Past performance on similar projects with DHSR licensure and trauma informed design.
- 4.3 Current workload and state/local government projects awarded.
- 4.4 Proposed design approach for the project.
- 4.5 Recent experience with project cost and schedules (include projects most like the Women with Children Recovery Center.)
- 4.6 Construction administration capabilities
- 4.7 Proximity to and familiarity with the areas where the project is located
- 4.8 Record of successfully completed projects without major legal or technical problems
- 4.9 List of current or prior legal actions taken by you or against you in the past five (5) years as it pertains to providing professional services to clients.

Tab 5: References

- 5.1 Provide a list of references to include phone numbers and contact names.

Tab 6: Minority Business Participation Plan

Respondents are required to submit information about participating MWBEs on the MWBE Affidavit forms provided with this RFQ. **Utilize the MWBE Affidavit Forms - Attachment 2**

- 6.1 Respondents are required to make a good faith effort to include Minority and Women Business Enterprises (MWBEs) as part of their management team. Describe the plan that your firm has developed to encourage participation by MWBEs and include a copy of that plan in your response.
- 6.2 Include documentation of MWBE participation you have achieved over the past three years on public and/or private projects.
- 6.3 Outline specific efforts that your firm takes to notify MWBEs of opportunities to participate.
- 6.4 Describe proposed MWBE goals for the targeted project and how the design team will assist Guilford County with meeting the desired goal.

Tab 7: Addendum Acknowledgement Form

Please download to complete, sign and date the **Addendum Acknowledgement Form – Attachment 3**. Be sure to upload the form back in the system to your online response. If no Addendum was issued, please indicate N/A for Not Applicable on the form.

Tab 8: Other Attachments

Please refer to the following attachments for information purposes only:

- **Attachment 4** – RFQ Respondent Checklist
- **Attachment 5** – Sample Contract (Note: *An award of a proposal is not an acceptance contract terms Provided by vendor unless expressly accepted by County*)
- **Exhibit A** – Gibson Park Scheule
- **Exhibit B** – 5209 W. Wendover Avenue Group Home Floor Plan (Demo)
- **Exhibit C** – 5209 W. Wendover Avenue Group Home Floor Plan (New Work)

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Addendum #1 - (Bid 20271) Bidder Questions
Renovations for the Women with Children Recovery Program at Gibson Park

1. What is your budget for this project? Total project budget, including design, construction, and FF&E, is currently estimated between \$5 million to \$10 million. The selected design team will help develop the total project budget including construction cost estimate and a FF&E estimate.
2. If a team member of ours couldn't attend the walk through on 4/8 is there another date one of our team could visit the space? No. However, once the proposals are ranked and the most qualified design teams are determined, a second tour will be available upon request during the evaluation phase.
3. Is this a residential facility for recovery and if so how many units?
Yes, this facility is for residential substance use recovery. It has 28 bedrooms.

Addendum #2: (Bid 20271) Non-Mandatory ZoomGov Meeting
Renovations for the Women with Children Recovery Program at Gibson Park

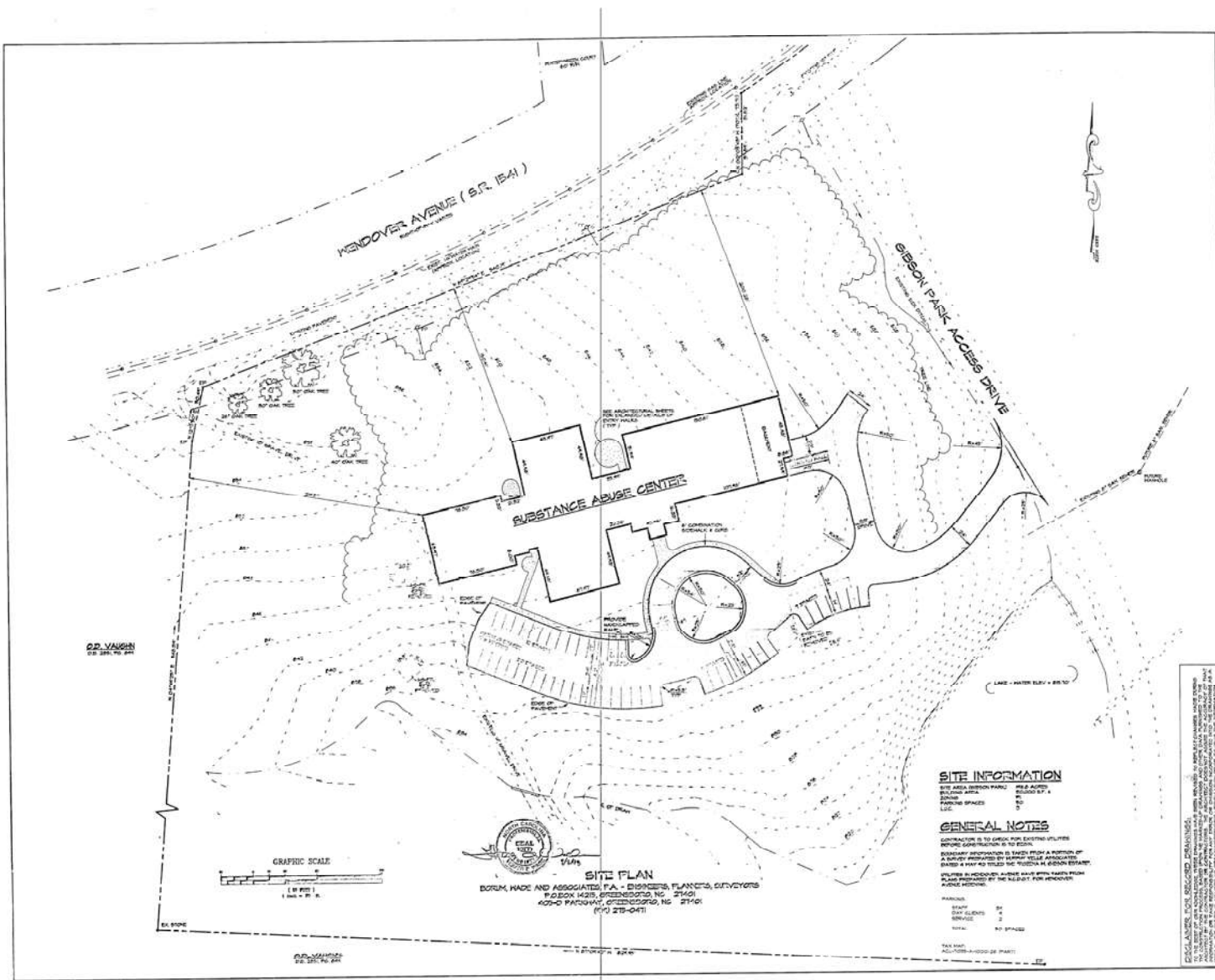
Online ZoomGov Meeting, April 8, 2025 @ 10:00 AM

Name	Company	Email
Christol Murphy	Guilford County Purchasing	cmurphy@guilfordcountync.gov
Chrystal Braswell	Guilford County Purchasing	cbraswell3@guilfordcountync.gov
Williette Moore	Guilford County Purchasing	wmoore2@guilfordcountync.gov
Olga Wright	Guilford County Purchasing	owright@guilfordcountync.gov
Tari May-Brady	Guilford County – Facilities	tmaynor@guilfordcountync.gov
Abby Gostling	Guilford County – County Administration	agostling@guilfordcountync.gov
Alan Cox	CPL Architecture	acox@cplteam.com
Ashley McCormick	Novus Architects	Ashley.mccormick@novusa.com
Carrie McClellan	SKA Consulting Engineer	camcclellan@skaeng.com
Michael Sutton	Integrated Design	michaelsutton@id.com
Malcom Hawkins	IHR Architecture	M.Hawkins@IHRarchitecture.com

Josh Thomas	Axias Inc	ithomas@axiasinc.com
Maggie Gordon	CPL Architecture	mgordon@cplteam.com
Ken McDaniel	Michael Graves	kmcdaniel@michaelgraves.com
Liz Sims	Michael Graves	lsims@michealgraves.com
Christine Farris	Viibe Design	christine@viibedesign.com
Tona Singletary	Civil Site Design, PLLC	tsingletary@csitedesigns.com
Nicholas Zastrow	HH Architecture	nzastrow@hharch.com
Sue Goodwin	CPL Architecture	sgoodwin@cplteam.com
Katie Pepper	Michael Graves	kp@michaelgraves.com
Charles Richard	MCC	



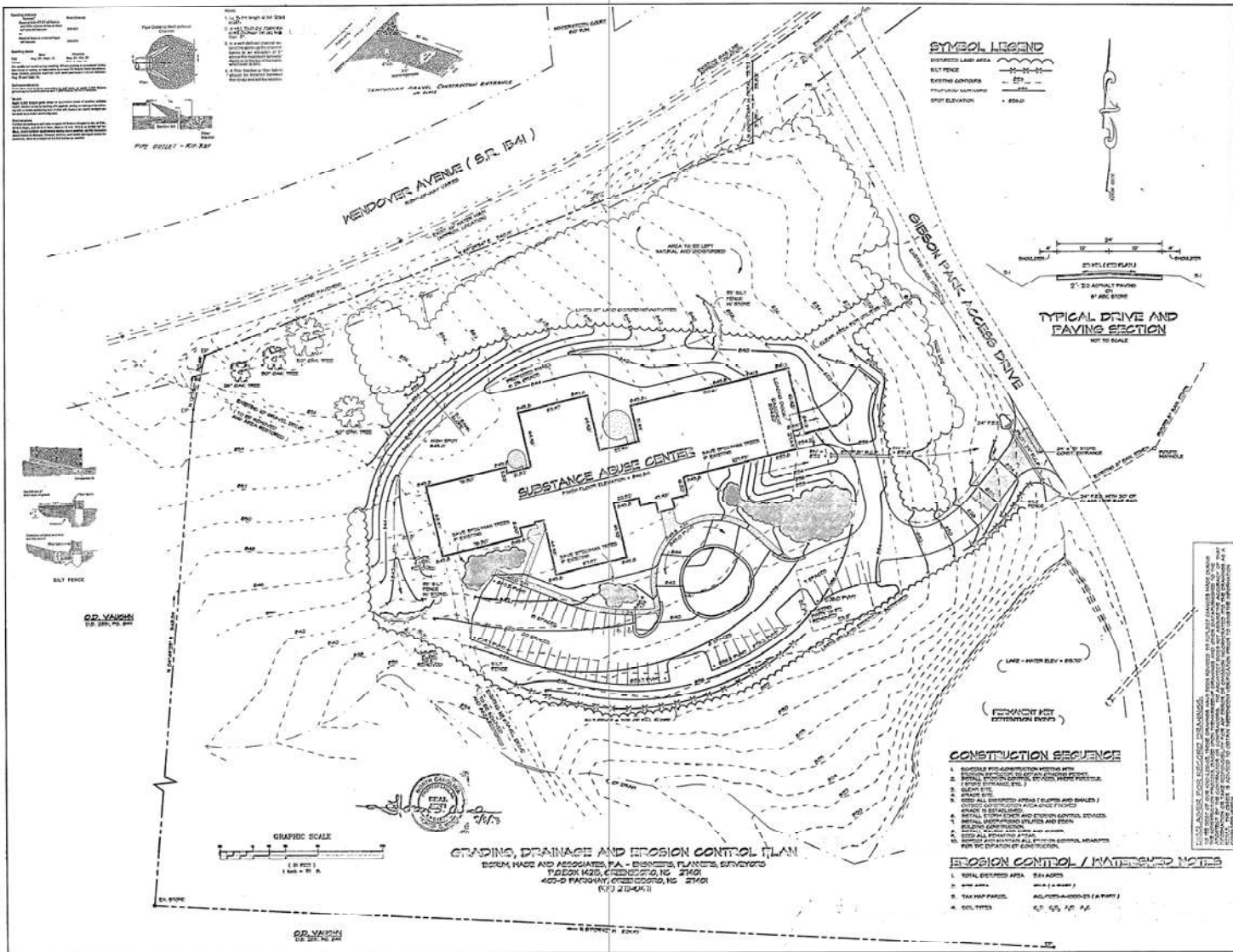
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3	MECHANICAL	3	NON-BEARING
4	STRUCTURAL	4	CEILING
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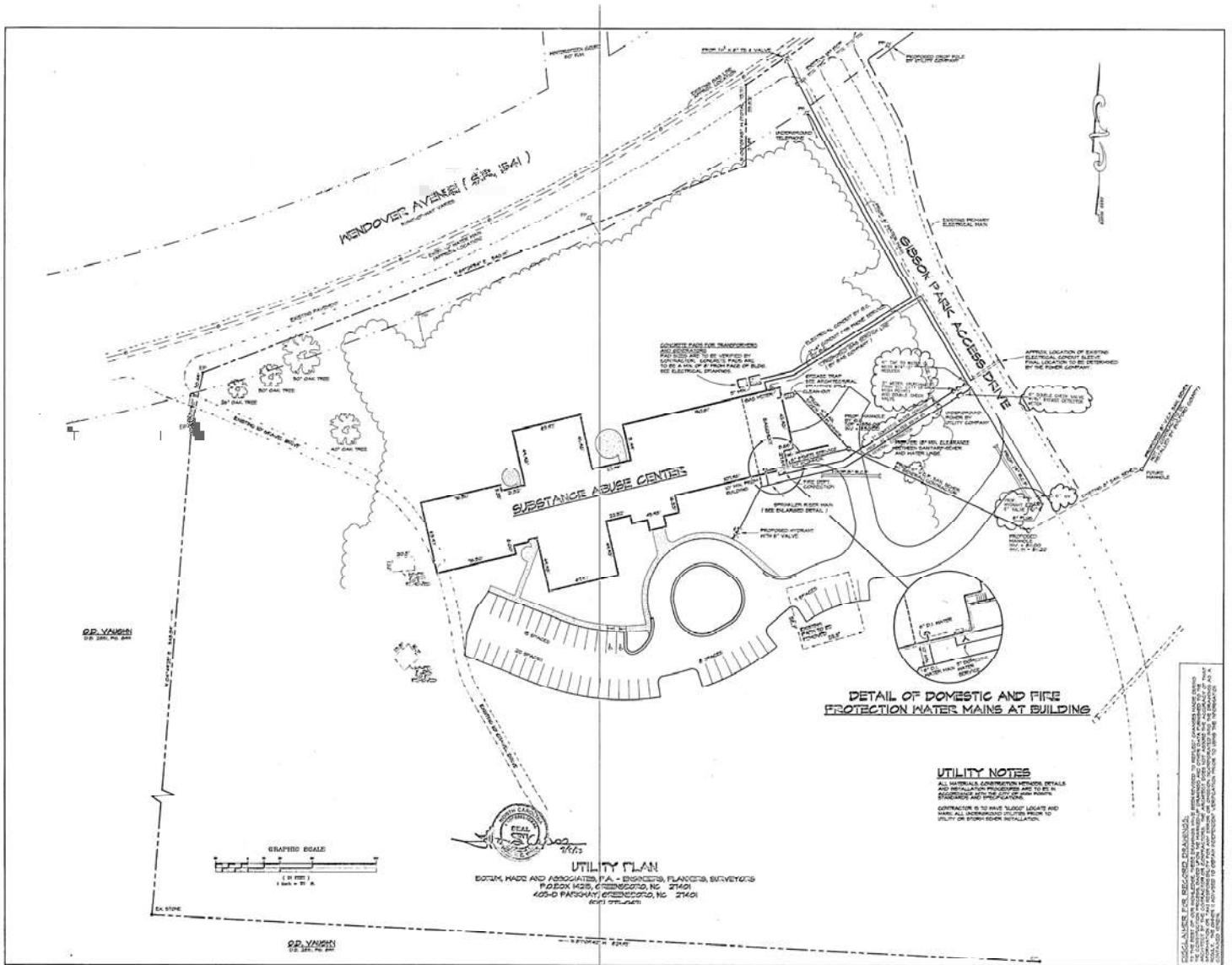


Mr. Ryan Rhoads, Architect, P.A.
1000 N. 1st St., Suite 100
Greensboro, NC 27401
(919) 276-0471

GUILFORD COUNTY
SUBSTANCE ABUSE CENTER
GUILFORD COUNTY, NORTH CAROLINA

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Wendover Avenue (Rt. 1541)

ECHO PARK ACCESS DRIVE

SUBSTANCE ABUSE CENTER

UTILITY PLAN

DETAIL OF DOMESTIC AND FIRE PROTECTION WATER MAINS AT BUILDING

UTILITY NOTES

ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, N.C. DEPARTMENT OF TRANSPORTATION, AND THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR WATER SUPPLY SYSTEMS, N.C. DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.

CONTRACTOR IS TO HAVE SLEIGHT LOCATE AND MARK ALL UNDERGROUND UTILITIES PRIOR TO ANY UTILITY OR STRUCTURE INSTALLATION.

Wendover Avenue (Rt. 1541)

ECHO PARK ACCESS DRIVE

SUBSTANCE ABUSE CENTER

UTILITY PLAN

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Wendover Avenue (Rt. 1541)

ECHO PARK ACCESS DRIVE

SUBSTANCE ABUSE CENTER

UTILITY PLAN

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Wendover Avenue (Rt. 1541)

ECHO PARK ACCESS DRIVE

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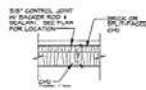
UTILITY PLAN

DETAIL OF DOMESTIC AND FIRE PROTECTION WATER MAINS AT BUILDING

UTILITY NOTES

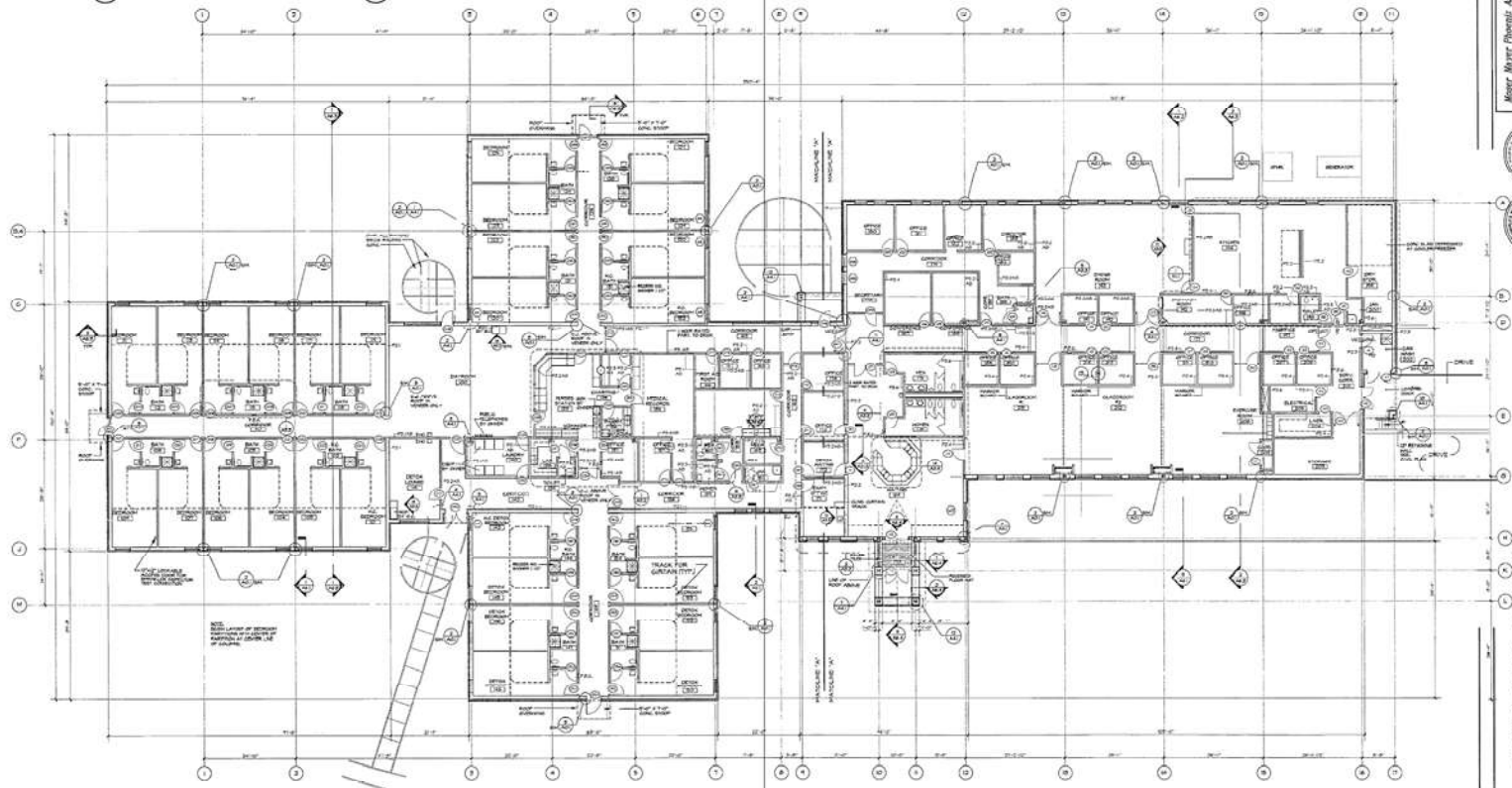
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CONTRACTOR IS TO HAVE SLEIGHT LOCATE AND MARK ALL UNDERGROUND UTILITIES PRIOR TO ANY UTILITY OR STRUCTURE INSTALLATION.



2 PLAN DETAIL
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PLAN DETAIL
1/2" = 1'-0"



1 OVERALL FLOOR PLAN
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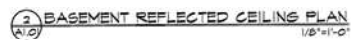
DISCLAIMER FOR RECORD DRAWING:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS. HOWEVER, THE MARKED-UP DRAWINGS AND OTHER DATA PROVIDED TO THE ARCHITECT BY THE OWNER OR THE CONTRACTOR OR SUB-CONTRACTORS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THAT INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN ADDITIONAL VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.



Reviewed / edited by: / Reviewed / edited by:
MOORE MAYER PRODUCTIONS ASSOCIATES, PA.

GUILFORD COUNTY
SUBSTANCE ABUSE CENTER
GUILFORD COUNTY, NORTH CAROLINA

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DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROJECT, BASED UPON THE MARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS. THE ARCHITECT DOES NOT ASSURE THE ACCURACY OF THE INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION.

CEILING PLAN LEGEND

	8'x8' LAY-IN ACOUSTIC TILE
	6'x6' GRID CEILING
	LAY-IN LIGHT FIXTURE
	PENDANT MOUNTED LIGHT FIXTURE
	SUPPLY AIR GRILLE
	RETURN AIR DIFFUSER
	EXIT LIGHT
	SPRINKLER HEAD AT EXPOSED SPRINKLER
	SPRINKLER HEAD AT CEILING INSTALLATION
	SMOKE DETECTOR
	EXHAUST AIR GRILLE

CEILING PLAN NOTES:

1. PROVIDE MORTAR RESISTANT GYPSUM BOARDS FOR ALL TOILET ROOM CEILING IN ROOMS 1000.
2. PROVIDE GYPSUM BOARD IN ALL ROOMS 1000.
3. ALL ITEMS IN LATHING TILE SHALL BE IN THE CENTER OF 24" FIELDS ON THE CENTER 1/2 OF A 24" TILE.
4. TYPE, LOCATION OF ALL CEILING LIGHTS SHALL BE SHOWN BY THIS DRAWING. DISCREPANCIES EXIST BETWEEN THIS DRAWING AND THE ELECTRICAL OR MECHANICAL DRAWINGS. CONTRACTOR SHALL PROVIDE THE GYPSUM BOARD, LATHING AND FINISH COORDINATE FINAL LOCATION WITH THE ARCHITECT.

LEGEND:	
ACT	ACETOCHLORAL RESIN TILE
CONCRETE	CONCRETE - SEALED
GRT	CABINET
GT	CERAMIC TILE
EP	EPoxy PAINT
EXP	EXPLODED TO SYMULACRA
FBR	FIBERGLASS REINFORCED PAINT
SHD	SYNTH HALLBOARD
P	PART
PT	PAVER TILE
GV	GRAVEL TILE
R	RUBBER
RFR	RECESSED FLOOR MAT
VG-1	VINYL COMPOSITION TILE
VHG	VINYL HALL COVERING

[illegible]Moser Mayer Phoenix Associates, PA
Architects / Engineers / Artists Design / Planning

GUILFORD COUNTY
SUBSTANCE ABUSE CENTER
GUILFORD COUNTY, NORTH CAROLINA

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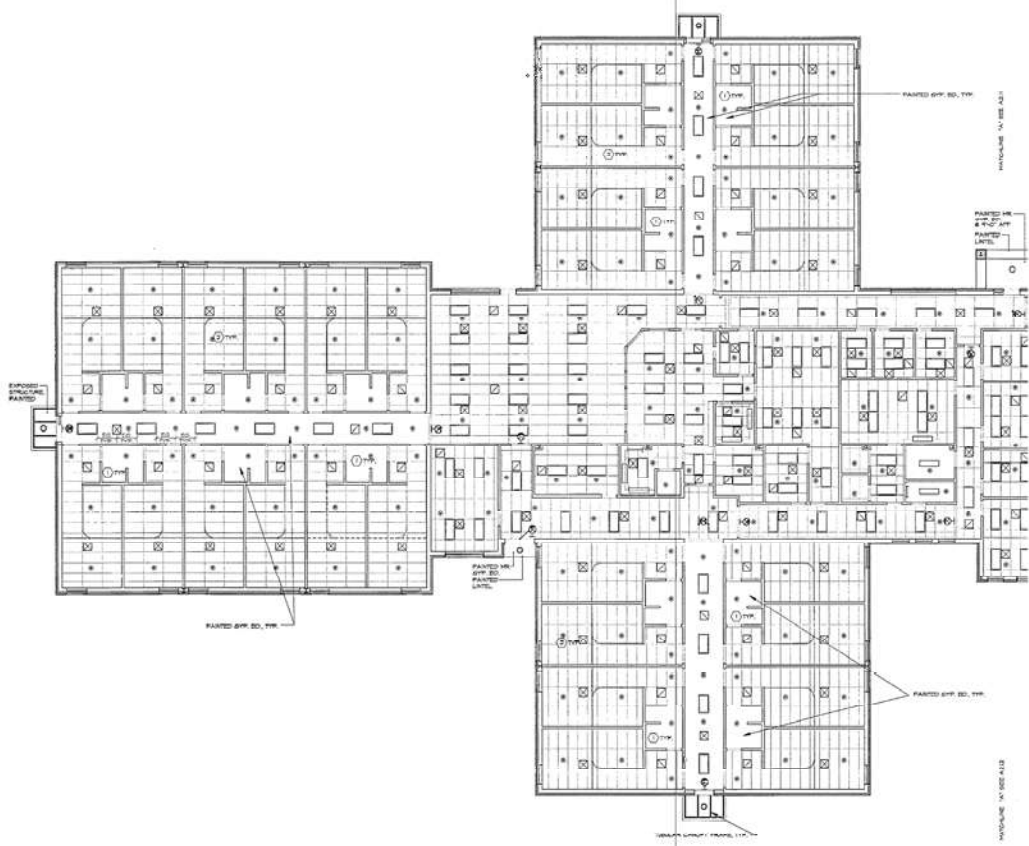
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Minor Meyer Thwaites Associates, P.A.
 Architects / Planners / Interior Design / Lighting
 100 West 1st Street
 Suite 200
 Guilford, NC 27433
 Phone: 336.341.1111
 Fax: 336.341.1112
 Email: info@mmta.com

GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

DATE	08/14/2018
PROJECT NO.	18-001
SCALE	AS SHOWN
DRAWN BY	MMT
CHECKED BY	MMT
PROJECT	AS BUILT CHANGES
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DATE	08/14/2018
BY	MMT

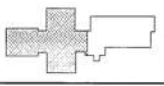
A2.11
 08/14/2018



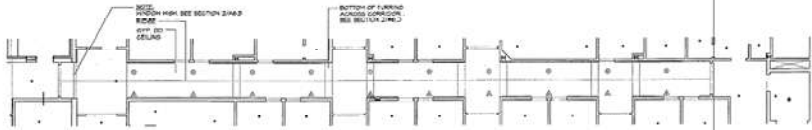
CEILING PLAN LEGEND	
[Symbol]	4\"/>

- CEILING PLAN NOTES:**
1. PROVIDE INSURE REQUIREMENT GYP. BO. FOR ALL TOILET ROOFS CEILING IN REMEDIATION AREAS.
 2. PROVIDE CEILING TRIM IN ALL REMEDIATION AREAS.
 3. ALL CEILING PLAYS IN TILE SHALL BE IN THE CENTER OF JOINT TILES OR IN THE CENTER OF JOINTS.
 4. FINAL LOCATIONS OF ALL CEILING ELEMENTS SHALL BE SHOWN ON THE DRAWINGS. DISCREPANCIES EXIST BETWEEN THIS DRAWING AND THE ELECTRICAL, AIR MECHANICAL, PLUMBING, AND FIRE ALARM DRAWINGS. CONTRACTORS SHALL PROVIDE THE GREATER COORDINATION AND SHALL COORDINATE FINAL LOCATIONS WITH THE ARCHITECT.

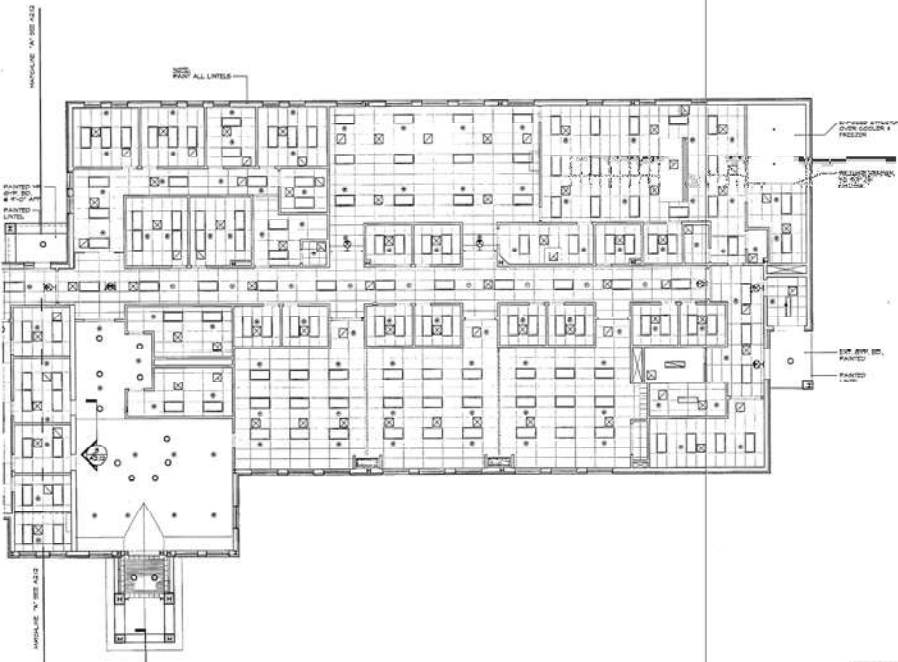
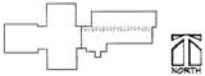
DISCLAIMER FOR RECORD DRAWINGS:
 TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS BASED UPON THE HANDS-ON DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THAT INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.



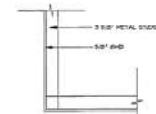
AREA | REFLECTED CEILING PLAN
 1/8"=1'-0"



1 AREA 2 REFLECTED CEILING PLAN ALT. BID #1
1/8"=1'-0"



2 AREA 2 REFLECTED CEILING PLAN
1/8"=1'-0"



3 CEILING DETAIL
1"=1'-0"

CEILING PLAN LEGEND	
[Symbol]	EXH. LATHES, PAPER, FIBERGLASS TILES
[Symbol]	EXH. 2x4 CEILING
[Symbol]	LATHES, LIGHT FIXTURE
[Symbol]	RECYCLED POLYESTER LIGHT FIXTURE
[Symbol]	SUPPLY AIR GRILLE
[Symbol]	RETURN AIR DIFFUSER
[Symbol]	EXH. LIGHT
[Symbol]	SPRINKLER HEAD AT EXPOSED STEEL
[Symbol]	SPRINKLER HEAD IN CEILING REPAIR
[Symbol]	SMOKE DETECTOR
[Symbol]	EXHAUST AIR GRILLE

- CEILING PLAN NOTES:**
1. PROVIDE FIRE-RATE RESISTANT EXH. 2x4 FOR ALL TOILET ROOFS CEILING IN CORRIDORS.
 2. PROVIDE CEILING TRACK IN ALL CORRIDORS.
 3. ALL ITEMS IN LATHES-TILE SHALL BE IN THE CORNER OF 2x4 TILES OR IN THE CORNER OF A 2x4 TILES.
 4. SHALL BE DICTATED BY ALL CEILING FIXTURES, SPRINKLERS, SMOKE DETECTORS, EXHAUST AIR GRILLES, AND SUPPLY AIR GRILLES. PROVIDE SMOKE DETECTOR AND SUPPLY AIR GRILLE LOCATIONS WITH THE ARCHITECT.

DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS BASED UPON THE HAND-UP CHANGES AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR AND/OR OTHERS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THE INFORMATION AND IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S RESPONSIBILITY IS TO OBTAIN NECESSARY VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.

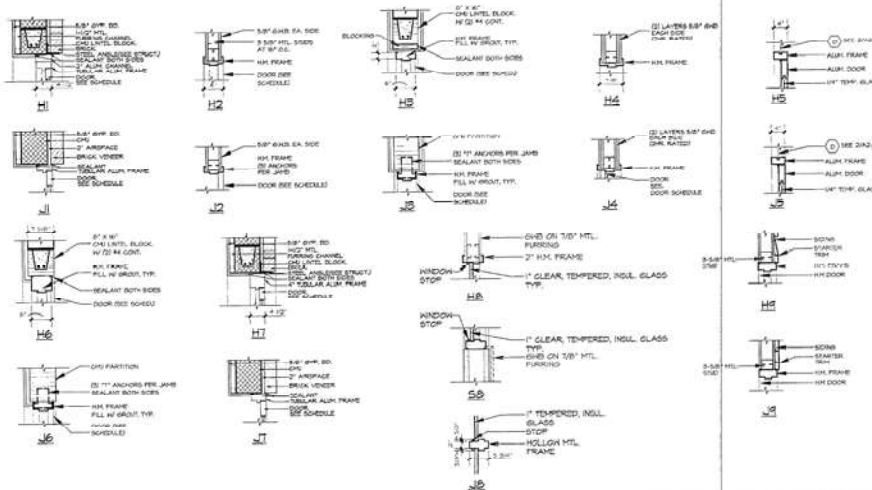


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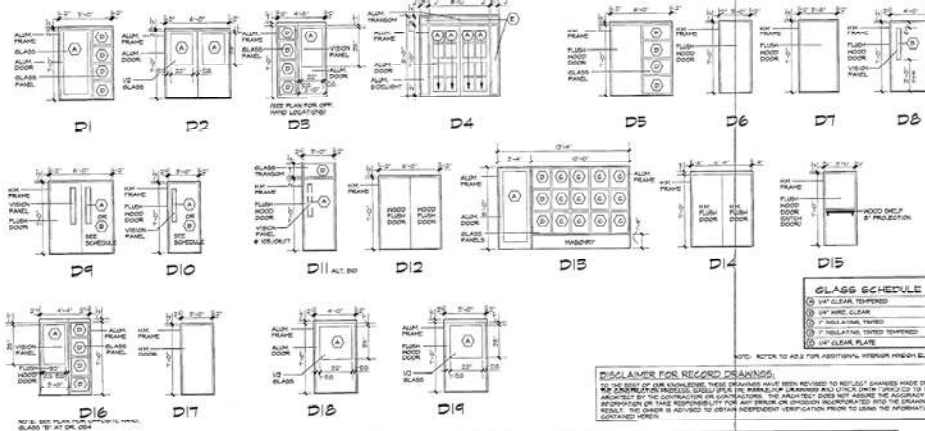
GUILFORD COUNTY
SURFACE ASBESTOS CENTER
GUILFORD COUNTY, NORTH CAROLINA

DATE: 08/11/10	PROJECT: 10-10-10
SHEET: 40-10-10	DESIGN: 10-10-10
CONTRACT: 10-10-10	NO. OF SHEETS: 10-10-10
<p>A2.12</p>	

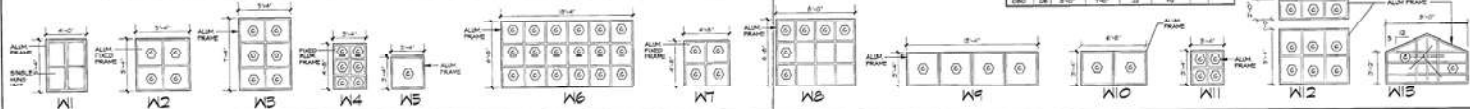
HEAD AND JAMB DETAILS 1"=1'-0"



DOOR ELEVATIONS 1/4"=1'-0"



WINDOW ELEVATIONS 1/4"=1'-0"



DOOR SCHEDULE

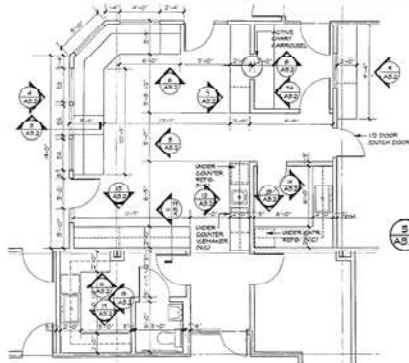
DOOR		OPENING		DETAILS	
NO.	TYPE	WIDTH	HEIGHT	JAMB	HEAD
BASEMENT FLOOR					
B001	D14	8'-0"	7'-0"	J	SH
B002	D14	8'-0"	7'-0"	J	SH
B003	D14	8'-0"	7'-0"	J	SH
B004	D14	8'-0"	7'-0"	J	SH
B005	D14	8'-0"	7'-0"	J	SH
B006	D14	8'-0"	7'-0"	J	SH
B007	D14	8'-0"	7'-0"	J	SH
B008	D14	8'-0"	7'-0"	J	SH
B009	D14	8'-0"	7'-0"	J	SH
B010	D14	8'-0"	7'-0"	J	SH
B011	D14	8'-0"	7'-0"	J	SH
B012	D14	8'-0"	7'-0"	J	SH
B013	D14	8'-0"	7'-0"	J	SH
B014	D14	8'-0"	7'-0"	J	SH
B015	D14	8'-0"	7'-0"	J	SH
B016	D14	8'-0"	7'-0"	J	SH
B017	D14	8'-0"	7'-0"	J	SH
B018	D14	8'-0"	7'-0"	J	SH
B019	D14	8'-0"	7'-0"	J	SH
B020	D14	8'-0"	7'-0"	J	SH
B021	D14	8'-0"	7'-0"	J	SH
B022	D14	8'-0"	7'-0"	J	SH
B023	D14	8'-0"	7'-0"	J	SH
B024	D14	8'-0"	7'-0"	J	SH
B025	D14	8'-0"	7'-0"	J	SH
B026	D14	8'-0"	7'-0"	J	SH
B027	D14	8'-0"	7'-0"	J	SH
B028	D14	8'-0"	7'-0"	J	SH
B029	D14	8'-0"	7'-0"	J	SH
B030	D14	8'-0"	7'-0"	J	SH
B031	D14	8'-0"	7'-0"	J	SH
B032	D14	8'-0"	7'-0"	J	SH
B033	D14	8'-0"	7'-0"	J	SH
B034	D14	8'-0"	7'-0"	J	SH
B035	D14	8'-0"	7'-0"	J	SH
B036	D14	8'-0"	7'-0"	J	SH
B037	D14	8'-0"	7'-0"	J	SH
B038	D14	8'-0"	7'-0"	J	SH
B039	D14	8'-0"	7'-0"	J	SH
B040	D14	8'-0"	7'-0"	J	SH
B041	D14	8'-0"	7'-0"	J	SH
B042	D14	8'-0"	7'-0"	J	SH
B043	D14	8'-0"	7'-0"	J	SH
B044	D14	8'-0"	7'-0"	J	SH
B045	D14	8'-0"	7'-0"	J	SH
B046	D14	8'-0"	7'-0"	J	SH
B047	D14	8'-0"	7'-0"	J	SH
B048	D14	8'-0"	7'-0"	J	SH
B049	D14	8'-0"	7'-0"	J	SH
B050	D14	8'-0"	7'-0"	J	SH
B051	D14	8'-0"	7'-0"	J	SH
B052	D14	8'-0"	7'-0"	J	SH
B053	D14	8'-0"	7'-0"	J	SH
B054	D14	8'-0"	7'-0"	J	SH
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B075	D14	8'-0"	7'-0"	J	SH
B076	D14	8'-0"	7'-0"	J	SH
B077	D14	8'-0"	7'-0"	J	SH
B078	D14	8'-0"	7'-0"	J	SH
B079	D14	8'-0"	7'-0"	J	SH
B080	D14	8'-0"	7'-0"	J	SH

DOOR		OPENING		DETAILS	
NO.	TYPE	WIDTH	HEIGHT	JAMB	HEAD
FIRST FLOOR					
F001	D14	8'-0"	7'-0"	J	SH
F002	D14	8'-0"	7'-0"	J	SH
F003	D14	8'-0"	7'-0"	J	SH
F004	D14	8'-0"	7'-0"	J	SH
F005	D14	8'-0"	7'-0"	J	SH
F006	D14	8'-0"	7'-0"	J	SH
F007	D14	8'-0"	7'-0"	J	SH
F008	D14	8'-0"	7'-0"	J	SH
F009	D14	8'-0"	7'-0"	J	SH
F010	D14	8'-0"	7'-0"	J	SH
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F012	D14	8'-0"	7'-0"	J	SH
F013	D14	8'-0"	7'-0"	J	SH
F014	D14	8'-0"	7'-0"	J	SH
F015	D14	8'-0"	7'-0"	J	SH
F016	D14	8'-0"	7'-0"	J	SH
F017	D14	8'-0"	7'-0"	J	SH
F018	D14	8'-0"	7'-0"	J	SH
F019	D14	8'-0"	7'-0"	J	SH
F020	D14	8'-0"	7'-0"	J	SH
F021	D14	8'-0"	7'-0"	J	SH
F022	D14	8'-0"	7'-0"	J	SH
F023	D14	8'-0"	7'-0"	J	SH
F024	D14	8'-0"	7'-0"	J	SH
F025	D14	8'-0"	7'-0"	J	SH
F026	D14	8'-0"	7'-0"	J	SH
F027	D14	8'-0"	7'-0"	J	SH
F028	D14	8'-0"	7'-0"	J	SH
F029	D14	8'-0"	7'-0"	J	SH
F030	D14	8'-0"	7'-0"	J	SH
F031	D14	8'-0"	7'-0"	J	SH
F032	D14	8'-0"	7'-0"	J	SH
F033	D14	8'-0"	7'-0"	J	SH
F034	D14	8'-0"	7'-0"	J	SH
F035	D14	8'-0"	7'-0"	J	SH
F036	D14	8'-0"	7'-0"	J	SH
F037	D14	8'-0"	7'-0"	J	SH
F038	D14	8'-0"	7'-0"	J	SH
F039	D14	8'-0"	7'-0"	J	SH
F040	D14	8'-0"	7'-0"	J	SH
F041	D14	8'-0"	7'-0"	J	SH
F042	D14	8'-0"	7'-0"	J	SH
F043	D14	8'-0"	7'-0"	J	SH
F044	D14	8'-0"	7'-0"	J	SH
F045	D14	8'-0"	7'-0"	J	SH
F046	D14	8'-0"	7'-0"	J	SH
F047	D14	8'-0"	7'-0"	J	SH
F048	D14	8'-0"	7'-0"	J	SH
F049	D14	8'-0"	7'-0"	J	SH
F050	D14	8'-0"	7'-0"	J	SH
F051	D14	8'-0"	7'-0"	J	SH
F052	D14	8'-0"	7'-0"	J	SH
F053	D14	8'-0"	7'-0"	J	SH
F054	D14	8'-0"	7'-0"	J	SH
F055	D14	8'-0"	7'-0"	J	SH
F056	D14	8'-0"	7'-0"	J	SH
F057	D14	8'-0"	7'-0"	J	SH
F058	D14	8'-0"	7'-0"	J	SH
F059	D14	8'-0"	7'-0"	J	SH
F060	D14	8'-0"	7'-0"	J	SH
F061	D14	8'-0"	7'-0"	J	SH
F062	D14	8'-0"	7'-0"	J	SH
F063	D14	8'-0"	7'-0"	J	SH
F064	D14	8'-0"	7'-0"	J	SH
F065	D14	8'-0"	7'-0"	J	SH
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F076	D14	8'-0"	7'-0"	J	SH
F077	D14	8'-0"	7'-0"	J	SH
F078	D14	8'-0"	7'-0"	J	SH
F079	D14	8'-0"	7'-0"	J	SH
F080	D14	8'-0"	7'-0"	J	SH

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 10000 N. 19th Avenue / Suite 1000 / Phoenix, AZ 85022
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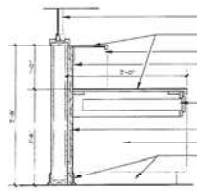
WILMINGTON, N.C. (WISN) — A woman who was arrested for driving while intoxicated in Guilford County, North Carolina, has been charged with the murder of her 10-year-old son.

[illegible]

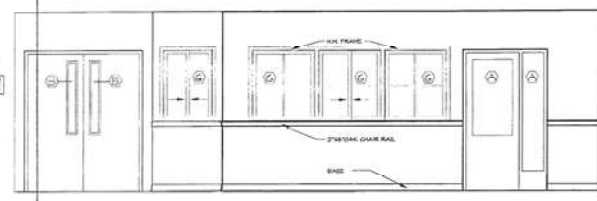


1 PLAN @ NURSES STATION
1/4" = 1'-0"

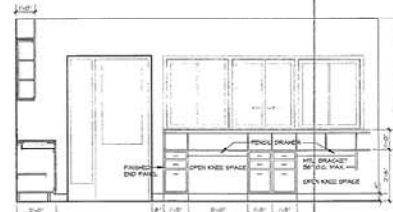
GLASS SCHEDULE	
1	1/2" CLEAR TEMPERED
2	1/2" WIRE CLEAR
3	1/2" INSULATING TEMPERED
4	1/2" INSULATING TINTED TEMPERED
5	1/2" CLEAR PLATE



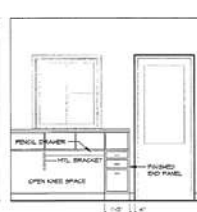
3 SECTION THRU NURSES STATION
1" = 1'-0"



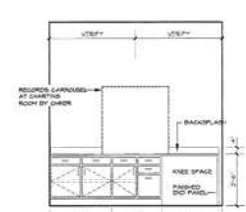
4 FRONT ELEVATION AT NURSES STATION
1/2" = 1'-0"



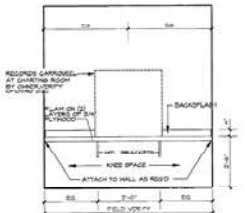
5 ELEV. AT NURSES STATION
1/2" = 1'-0"



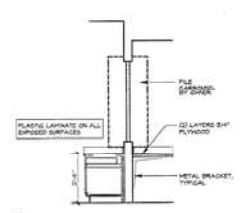
6 ELEV. AT NURSES STATION
1/2" = 1'-0"



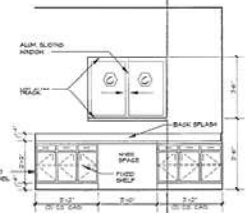
7 ELEV. AT COUNTERTOP
1/2" = 1'-0"



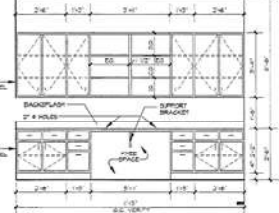
8 ELEV. AT COUNTERTOP
1/2" = 1'-0"



9 SECTION AT CHARTING ROOM
1/2" = 1'-0"



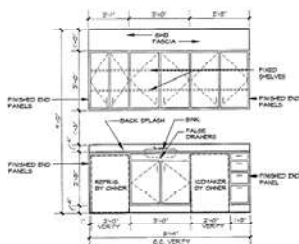
10 MEDICAL RECORDS
1/2" = 1'-0"



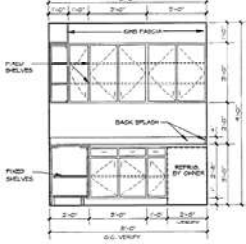
11 ELEV. AT OBSERVAT. STATION
1/2" = 1'-0"



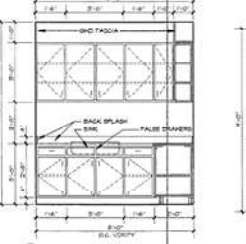
12 SECT. AT OBSERV.
1/2" = 1'-0"



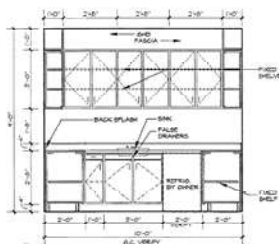
13 LAB CABINET
1/2" = 1'-0"



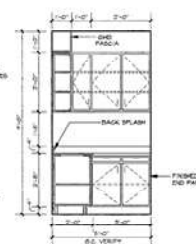
14 ELEV. AT PHARY
1/2" = 1'-0"



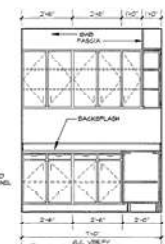
15 ELEV. AT PHARY
1/2" = 1'-0"



16 LAB CABINET
1/2" = 1'-0"

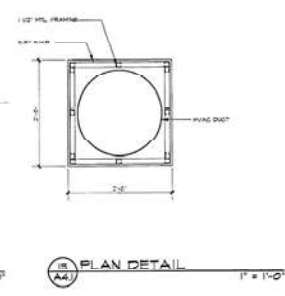
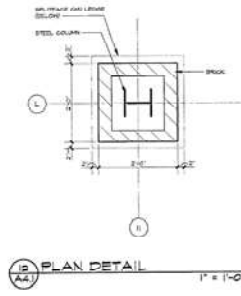
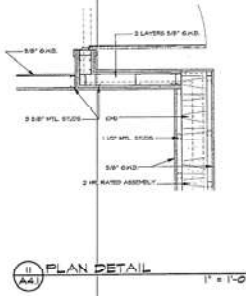
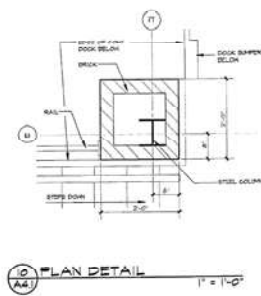
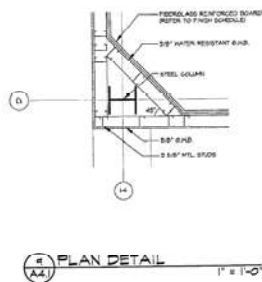
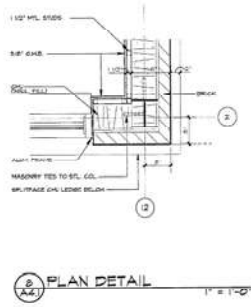
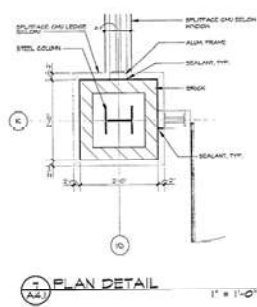
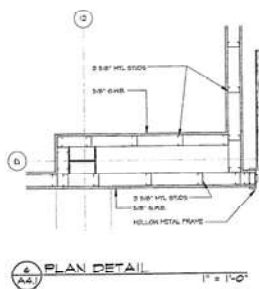
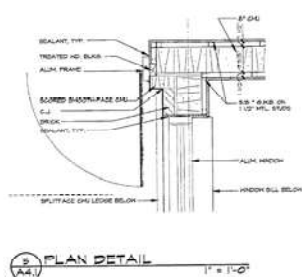
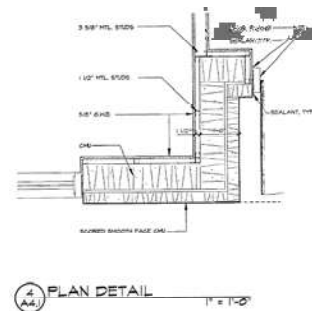
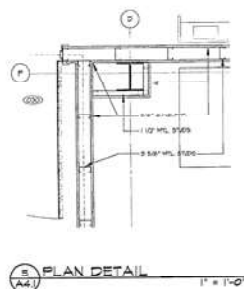
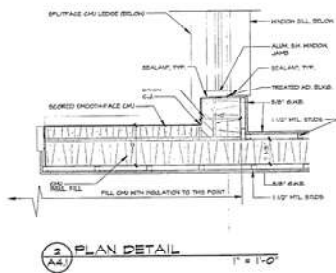
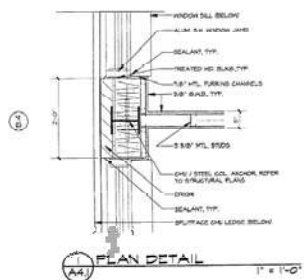


17 LAB CABINET
1/2" = 1'-0"

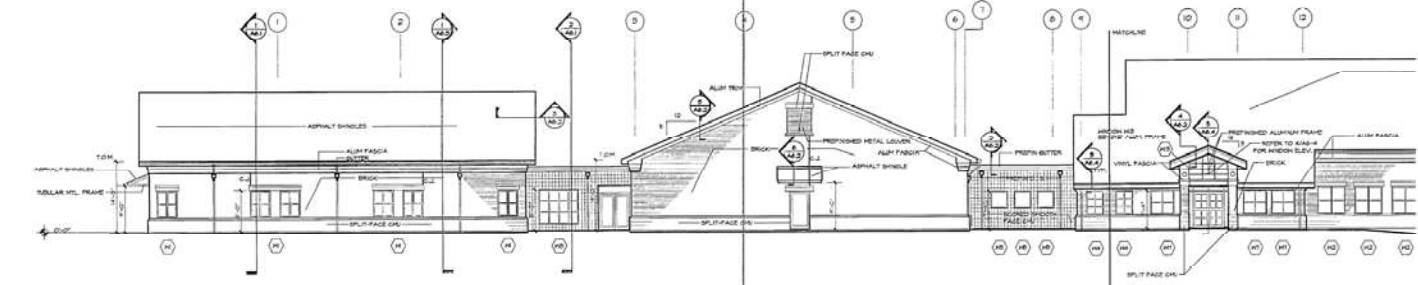


18 LAB CABINET
1/2" = 1'-0"

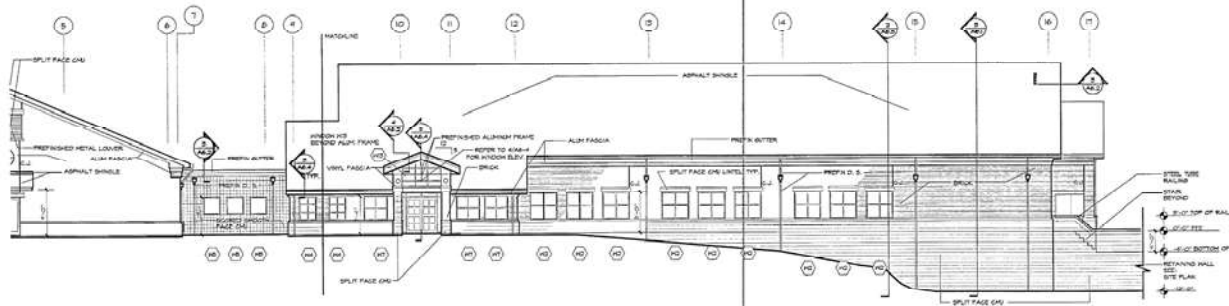
NOTES:
1. ALL GLASS SHALL BE 1/2" CLEAR TEMPERED.
2. ALL GLASS SHALL BE 1/2" WIRE CLEAR.
3. ALL GLASS SHALL BE 1/2" INSULATING TEMPERED.
4. ALL GLASS SHALL BE 1/2" INSULATING TINTED TEMPERED.
5. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
6. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
7. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
8. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
9. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
10. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
11. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
12. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
13. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
14. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
15. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
16. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
17. ALL GLASS SHALL BE 1/2" CLEAR PLATE.
18. ALL GLASS SHALL BE 1/2" CLEAR PLATE.



DISCLAIMER FOR RECORD DRAWINGS
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS. BASED UPON DRAWINGS AND OTHER DATA FURNISHED TO US BY THE OWNER, ARCHITECT, OR OTHER CONTRACTORS. THE ARCHITECT DOES NOT ASSURE THE ACCURACY OF THE INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.



1 SOUTH ELEVATION
1/8"=1'-0"



2 SOUTH ELEVATION
1/8"=1'-0"



3 EAST ELEVATION
1/8"=1'-0"

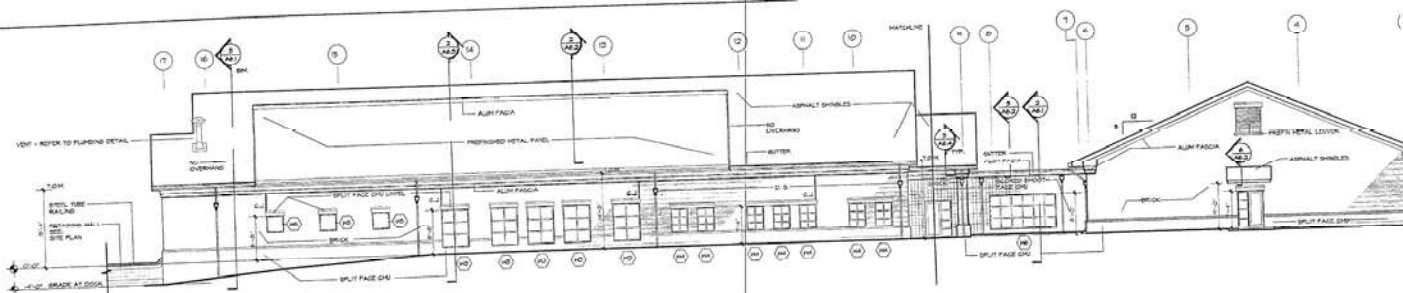
DISCLAIMER: FOR RECORDED DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING
THE CONSTRUCTION PROCESS. BASED UPON THE INFORMATION PROVIDED AND OTHER DATA FURNISHED TO THE
ARCHITECT BY THE CONTRACTOR OR CONSULTANTS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THAT
INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IDENTIFIED IN THE DRAWINGS AS A
RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION
CONTAINED HEREIN.

Moore Meyer Associates, P.A.
 201 S. 1st St. Suite 100
 Raleigh, NC 27601
 Phone: 919.978.1234
 Fax: 919.978.1235
 Email: info@mooremeyster.com

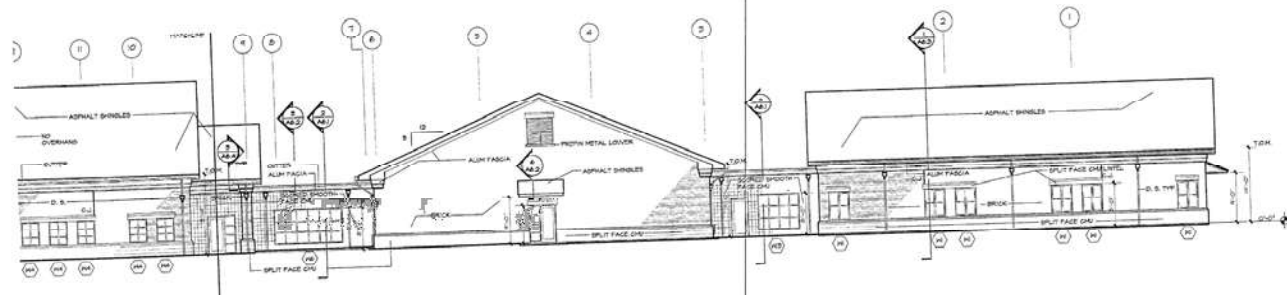
GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

DATE: 08.11.2010
 PROJECT NO: 10-01
 SHEET NO: 10-01
 DRAWN BY: J. MOORE
 CHECKED BY: J. MOORE
 SCALE: AS BUILT (2010) 1/8"=1'-0"

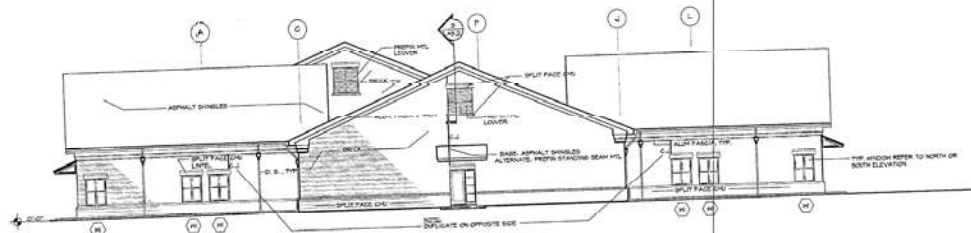
AS.1
 1/8"=1'-0"



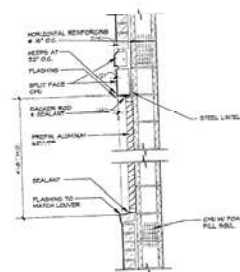
NORTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
A5.2 $1/8" = 1'-0"$



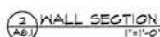
5
A5-2

LOUVER SECTION

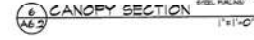
1"=1'-0"

DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS. BASED UPON THE MARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR, THE ARCHITECT DOES NOT ASSURE THE ACCURACY OF THE DRAWINGS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION.
DATE: 01/15/2015

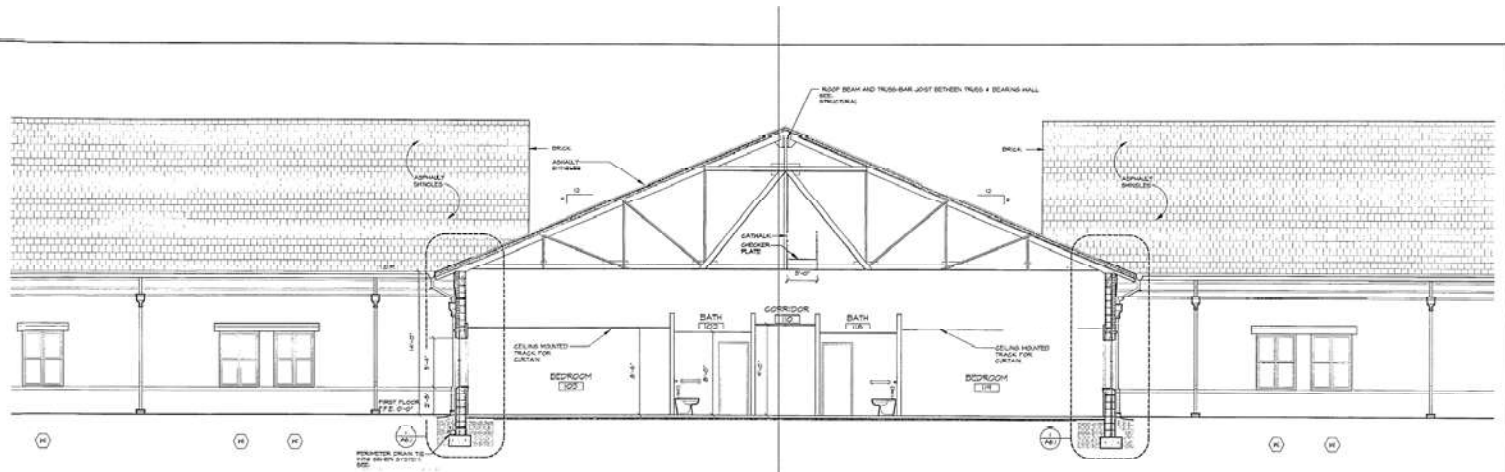




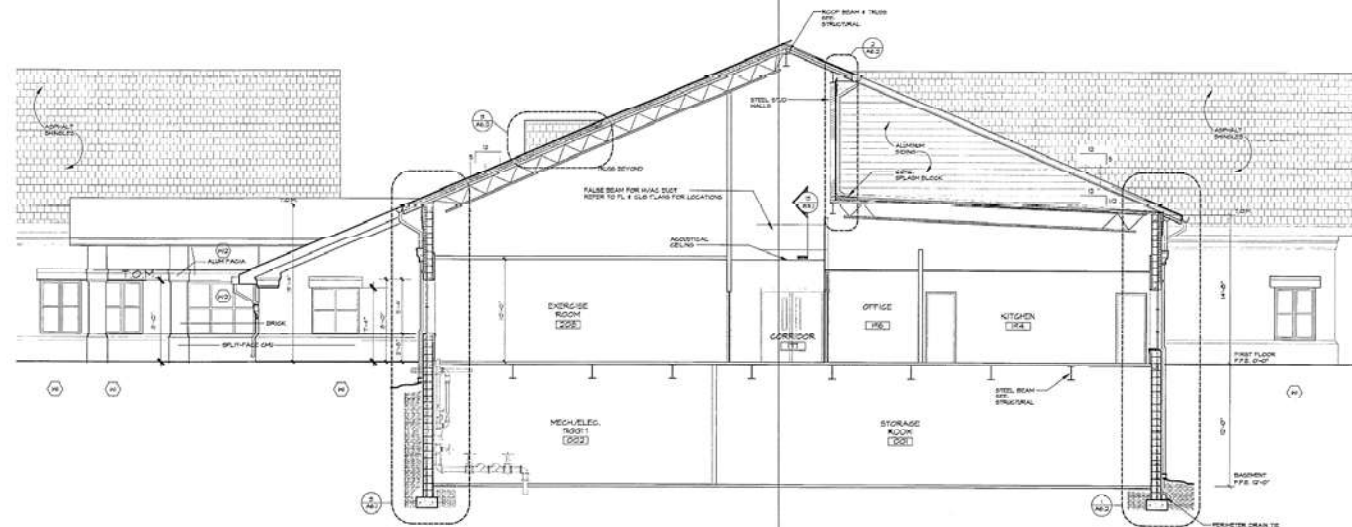
WALL SECTION
1"=1'-0"



DISCLAIMER FOR SECOND DRAWING:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE FIRST PRELIMINARY MEETING UPON THE HARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THAT INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.

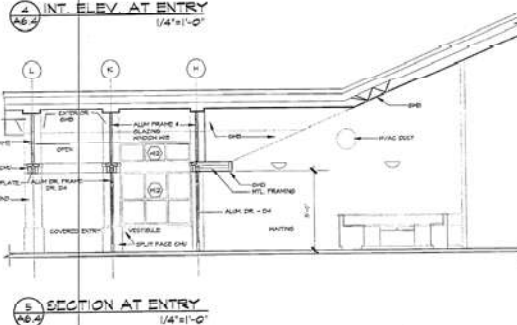
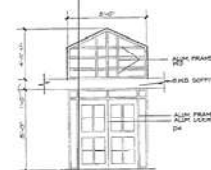
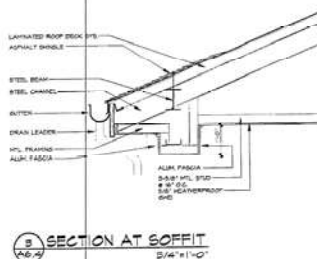
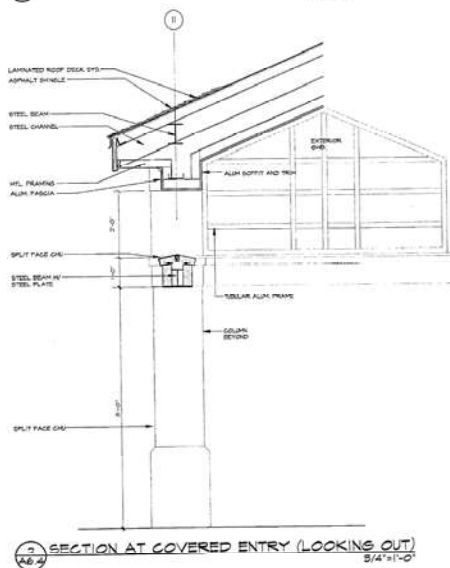
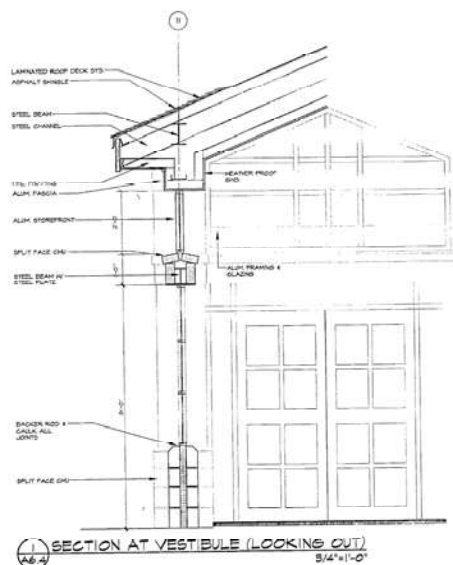


1 BUILDING SECTION
A6.3 1/4"=1'-0"

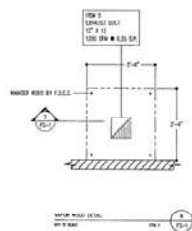
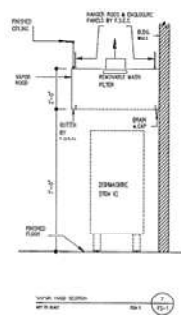
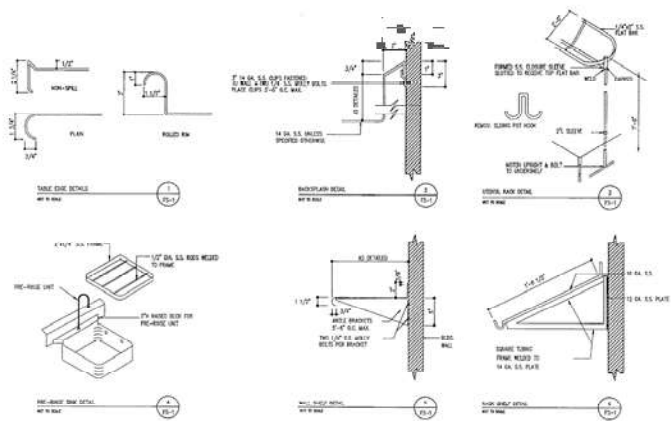


2 BUILDING SECTION
A6.3 1/4"=1'-0"

DISCLAIMER FOR RECORD DRAWINGS:
THE SET OF DRAWINGS FOR THIS PROJECT HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS, BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT BY THE CONTRACTOR OR CONTROLS. THE ARCHITECT DOES NOT ASSUME THE RESPONSIBILITY OF THAT INFORMATION ON EACH REQUIREMENT FOR ANY REASON OR OTHERWISE INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION PROVIDED HEREIN.



DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS. BASED UPON THE INFORMATION PROVIDED AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS. THE ARCHITECT DOES NOT ASSUME THE LIABILITY OF THE CONTRACTOR OR CONTRACTORS FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT DOES NOT ASSUME THE LIABILITY OF THE CONTRACTOR OR CONTRACTORS FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT DOES NOT ASSUME THE LIABILITY OF THE CONTRACTOR OR CONTRACTORS FOR ANY ERRORS OR OMISSIONS.



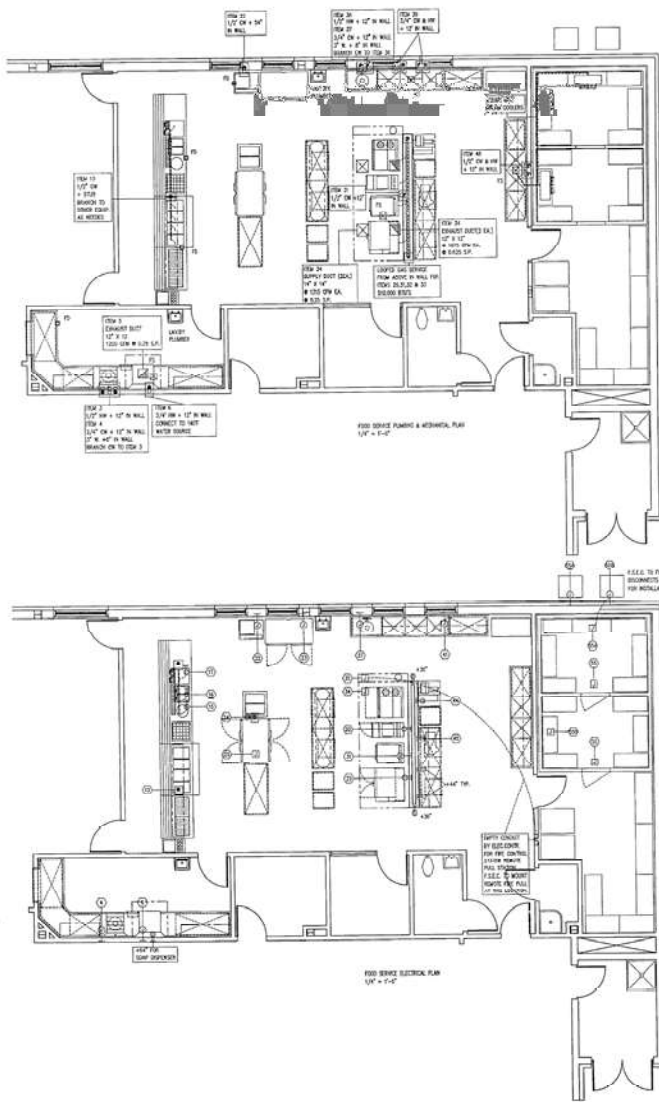
FOOD SERVICE EQUIPMENT SCHEDULE																					
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	W	D	H	W	D	H	REMARKS	ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	W	D	H	REMARKS	
1	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		2	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
3	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		4	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
5	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		6	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
7	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		8	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
9	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		10	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
11	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		12	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
13	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		14	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
15	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		16	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
17	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		18	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
19	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		20	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
21	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		22	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
23	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		24	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
25	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		26	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
27	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		28	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
29	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		30	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
31	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		32	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
33	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		34	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
35	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		36	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
37	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		38	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
39	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		40	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
41	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		42	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
43	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		44	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
45	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		46	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
47	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		48	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
49	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		50	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
51	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		52	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
53	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		54	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
55	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		56	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
57	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		58	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
59	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		60	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
61	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		62	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
63	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		64	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
65	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		66	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
67	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		68	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
69	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		70	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
71	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		72	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
73	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		74	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
75	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		76	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
77	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		78	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
79	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		80	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
81	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		82	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
83	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		84	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
85	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		86	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
87	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		88	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
89	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		90	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
91	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		92	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
93	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		94	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
95	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		96	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
97	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		98	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
99	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		100	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
101	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		102	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
103	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		104	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
105	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		106	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
107	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		108	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
109	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		110	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
111	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		112	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
113	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		114	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
115	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		116	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
117	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		118	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
119	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		120	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
121	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		122	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
123	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		124	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
125	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		126	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
127	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		128	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
129	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		130	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
131	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		132	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
133	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	18"	18"		134	1	STOVE (BURNER) - 4 BURNER	PHILIPS	PHS-100	30"	18"	18"	18"	
13																					

ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	W	D	H	W	D	H	REMARKS
55	1	REFRIGERATOR	PHILIPS	PHR-100	30"	18"	18"	18"	18"	18"	

Mount Myer Plastics Association, P.A.
 1000 North 1st Street
 Raleigh, NC 27601
 (919) 733-1111
 FAX (919) 733-1112
 www.mountmyerplastics.com

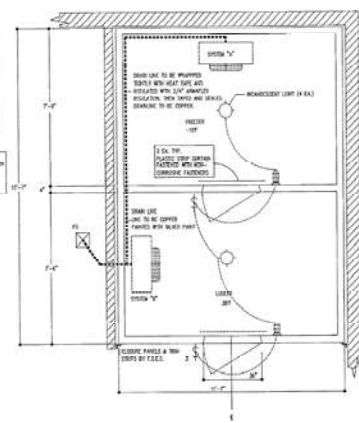
GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

DATE: 08/18/08
 DRAWN BY: J. H. HARRIS
 CHECKED BY: J. H. HARRIS
 APPROVED BY: J. H. HARRIS
 PROJECT: 08-001
 SHEET: 01 OF 01



SYMBOL	NOTES
1	FOOD SERVICE PLUMBING & MECHANICAL PLAN
2	FOOD SERVICE ELECTRICAL PLAN
3	FOOD SERVICE PLUMBING & MECHANICAL PLAN
4	FOOD SERVICE ELECTRICAL PLAN
5	FOOD SERVICE PLUMBING & MECHANICAL PLAN
6	FOOD SERVICE ELECTRICAL PLAN
7	FOOD SERVICE PLUMBING & MECHANICAL PLAN
8	FOOD SERVICE ELECTRICAL PLAN
9	FOOD SERVICE PLUMBING & MECHANICAL PLAN
10	FOOD SERVICE ELECTRICAL PLAN

NOTE: ALL EQUIPMENT TO BE INSTALLED IN THE KITCHEN AREA. THE PLUMBING & ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING & ELECTRICAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AT ALL TIMES. THE WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL AREAS AT ALL TIMES.

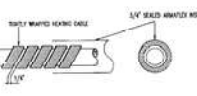


COOLER
36°F - 33°C

FREEZER
-10°F - -23°C

TEXT TO BE 1' HIGH

1/4" COPIED PLY

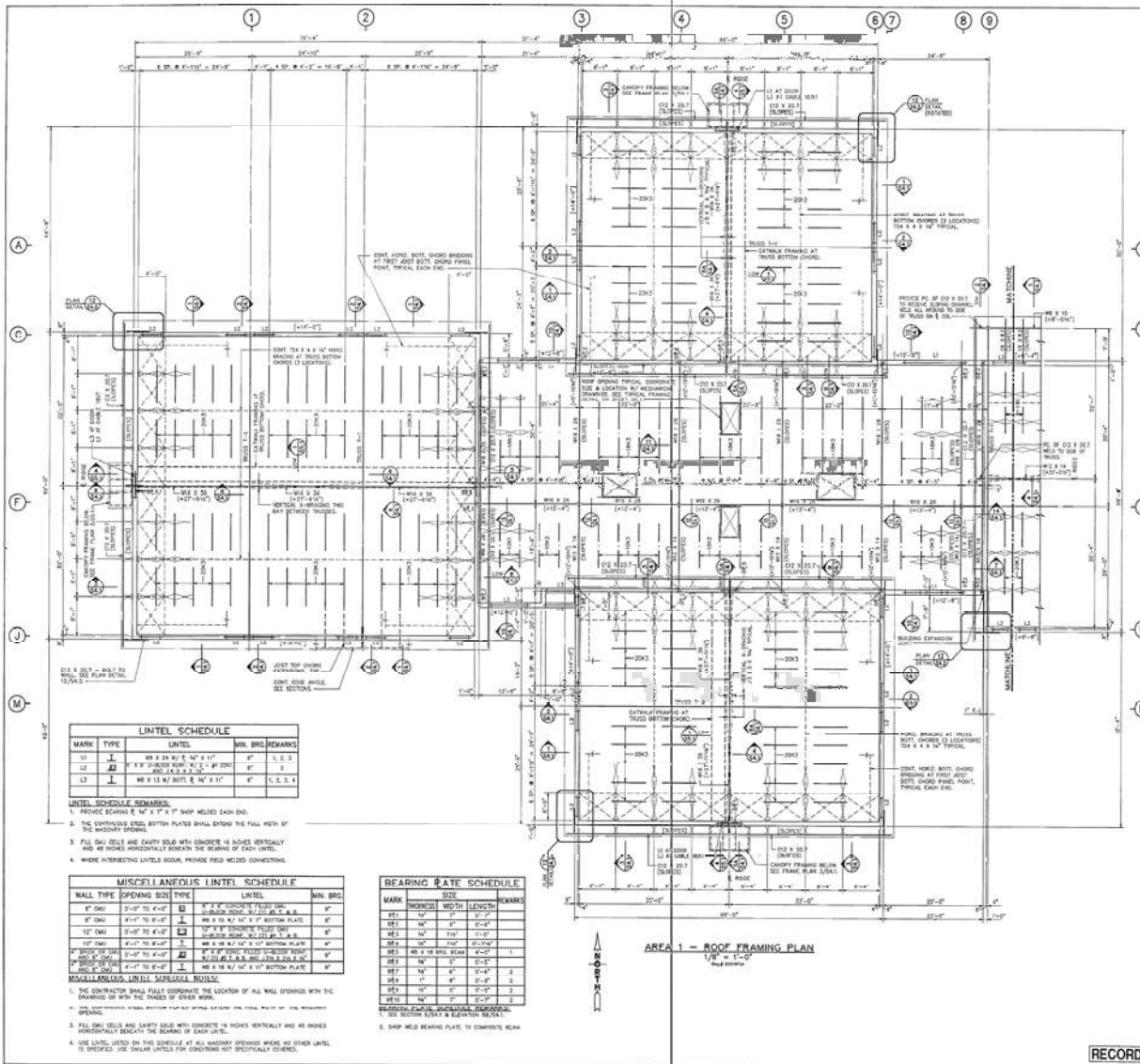


SYMBOL	NOTES
1	FOOD SERVICE PLUMBING & MECHANICAL PLAN
2	FOOD SERVICE ELECTRICAL PLAN
3	FOOD SERVICE PLUMBING & MECHANICAL PLAN
4	FOOD SERVICE ELECTRICAL PLAN
5	FOOD SERVICE PLUMBING & MECHANICAL PLAN
6	FOOD SERVICE ELECTRICAL PLAN
7	FOOD SERVICE PLUMBING & MECHANICAL PLAN
8	FOOD SERVICE ELECTRICAL PLAN
9	FOOD SERVICE PLUMBING & MECHANICAL PLAN
10	FOOD SERVICE ELECTRICAL PLAN

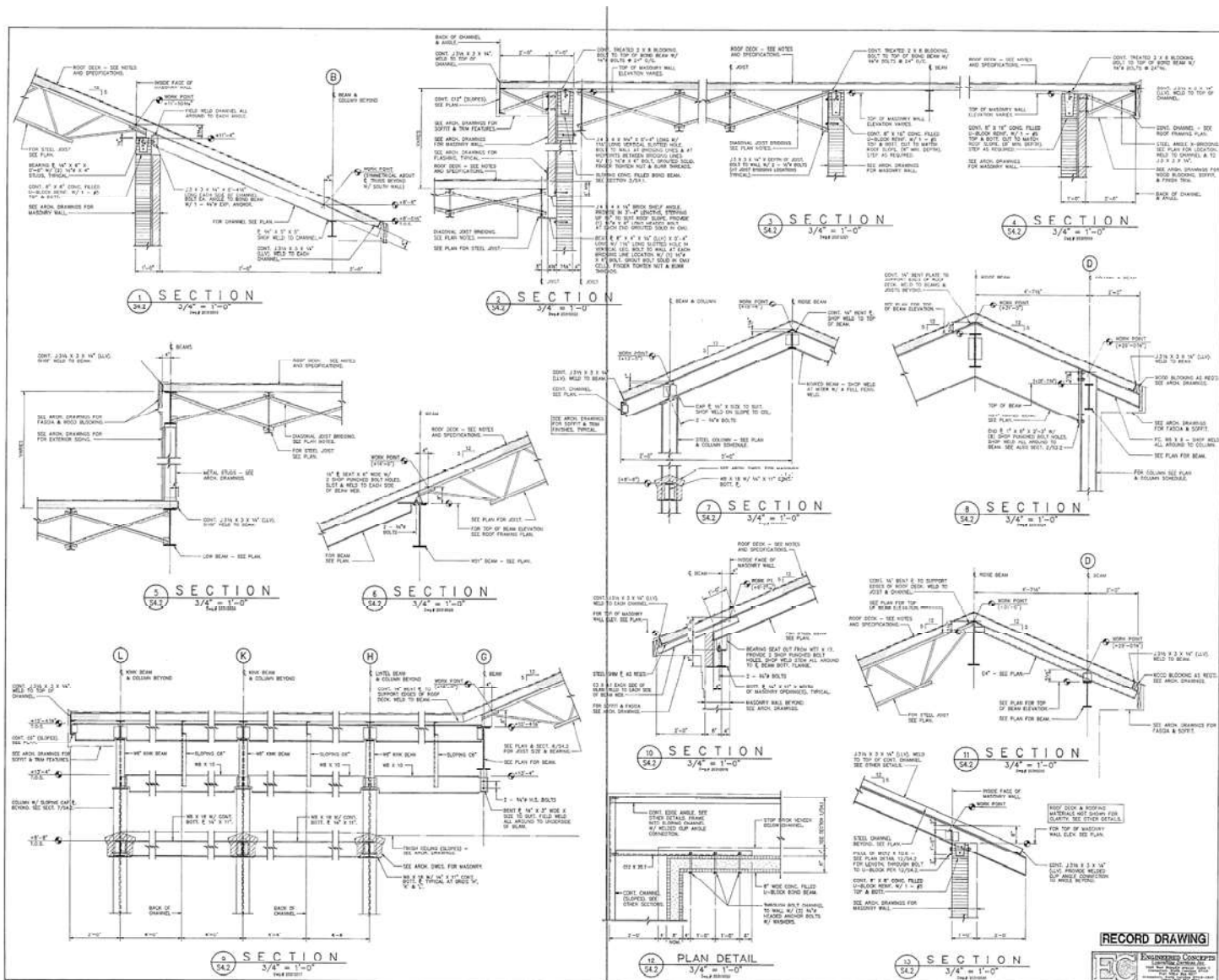
COLD STORAGE ROOMS FINISHES

EXTERIOR SURFACES:
1. EXTERIOR WALLS: 1/2" MIN. THICK CONCRETE BLOCK WITH 1/2" MIN. THICK EXTERIOR FINISH.
2. EXTERIOR FLOORS: 4" MIN. THICK CONCRETE SLAB WITH 1/2" MIN. THICK EXTERIOR FINISH.
3. EXTERIOR ROOFS: 1/2" MIN. THICK CONCRETE SLAB WITH 1/2" MIN. THICK EXTERIOR FINISH.

INTERIOR SURFACES:
1. INTERIOR WALLS: 1/2" MIN. THICK CONCRETE BLOCK WITH 1/2" MIN. THICK INTERIOR FINISH.
2. INTERIOR FLOORS: 4" MIN. THICK CONCRETE SLAB WITH 1/2" MIN. THICK INTERIOR FINISH.
3. INTERIOR ROOFS: 1/2" MIN. THICK CONCRETE SLAB WITH 1/2" MIN. THICK INTERIOR FINISH.







Moore Mayer Phoenix Associates, P.A.
Architect / Engineer / Interior Designer



GUILFORD COUNTY
SUBSTANCE ABUSE CENTER
GUILFORD COUNTY, NORTH CAROLINA

DATE	7/16/10
PROJECT NO.	10-101
SCALE	AS NOTED
DRAWN BY	JL
CHECKED BY	
IN CHARGE	
REVISION	
NO.	
DESCRIPTION	
DATE	
BY	
DESCRIPTION	

RECORD DRAWING
ENGINEERS CONCEPTS
ARCHITECTS
10000 W. HARRIS BLVD.
SUITE 200
DALLAS, TEXAS 75243
TEL: 214-343-8800
FAX: 214-343-8801
WWW.ECARCHITECTS.COM

S4.2

[illegible]



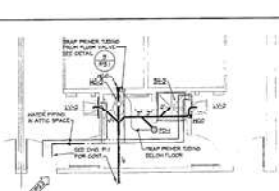
DISCLAIMER FOR RECORD DRAWINGS

TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVISED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS, BASED UPON THE MARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS. THE ARCHITECT DOES NOT ASSURE THE ACCURACY OF THAT INFORMATION, NOR DOES THE ARCHITECT GUARANTEE THAT SUCH CHANGES OR INFORMATION WILL BE SUFFICIENT FOR A FINALITY. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.

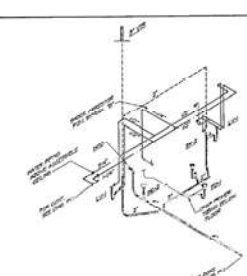




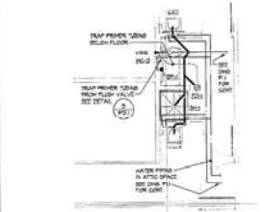
8 LAUNDRY/LAB DIAGRAM
P2.1 NOT TO SCALE



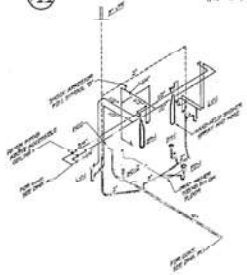
1 ENLARGED BEDRM BATH
1/4" = 1'-0"



2 BEDRM BATH DIAGRAM
1/4" = 1'-0"



3 ENLARGED DETOX BR BATH
1/4" = 1'-0"



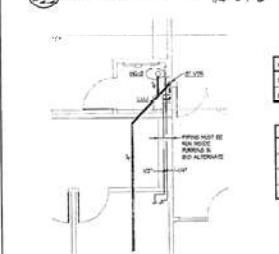
4 DETOX BATH DIAGRAM
1/4" = 1'-0"

WATER HEATER SCHEDULE

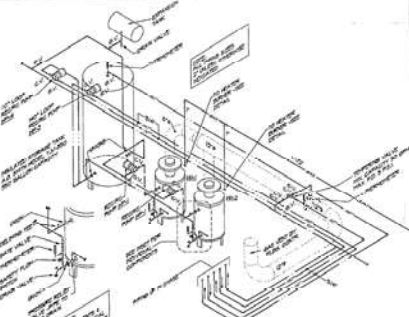
NO.	DESCRIPTION	QTY	UNIT	REMARKS
WH-1	WATER HEATER	1	EA	40 GPM, 120,000 BTU/H

REGIR PUMP SCHEDULE

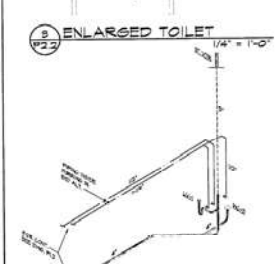
NO.	DESCRIPTION	QTY	UNIT	REMARKS
RP-1	REGIR PUMP	1	EA	1/2 HP, 115V



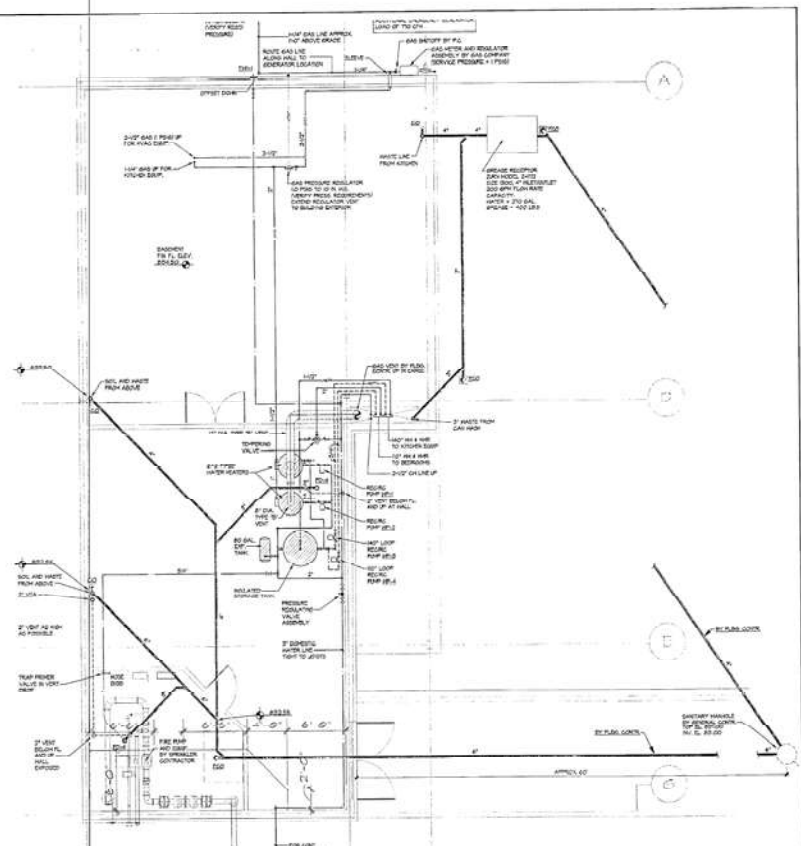
5 ENLARGED TOILET
1/4" = 1'-0"



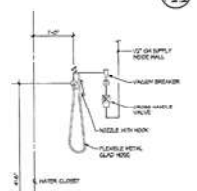
6 WATER HEATER PIPING SCHEMATIC
NOT TO SCALE



7 TOILET DIAGRAM
1/4" = 1'-0"



8 ENLARGED PARTIAL BASEMENT PLAN
1/4" = 1'-0"



9 BEDPAN WASH MOUNTING
1" = 1'-0"

DISCLAIMER FOR RECORD DRAWINGS:
THIS SET OF RECORD DRAWINGS HAS BEEN PREPARED BY THE ARCHITECT FOR THE CONTRACTOR ON CONTRACT. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THE INFORMATION ON THIS RECORDING FOR ANY PURPOSE OR PURPOSE INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.

Mass. Myer Plastics Associates, P.A.
 1000 N. Main St., Suite 100
 Guilford, CT 06430
 (203) 461-1111
 FAX (203) 461-1112
 E-MAIL: myer@myerplastics.com
 WWW: www.myerplastics.com

GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD CO, NORTH CAROLINA

DATE: 10/10/01
 PROJECT: 10-01
 DRAWING: 10-01
 SHEET: 10-01
 OF: 10-01
 BY: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]
 P2.2

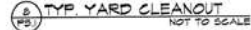
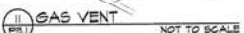
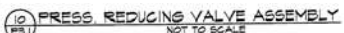
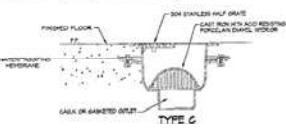
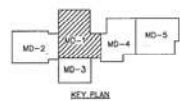
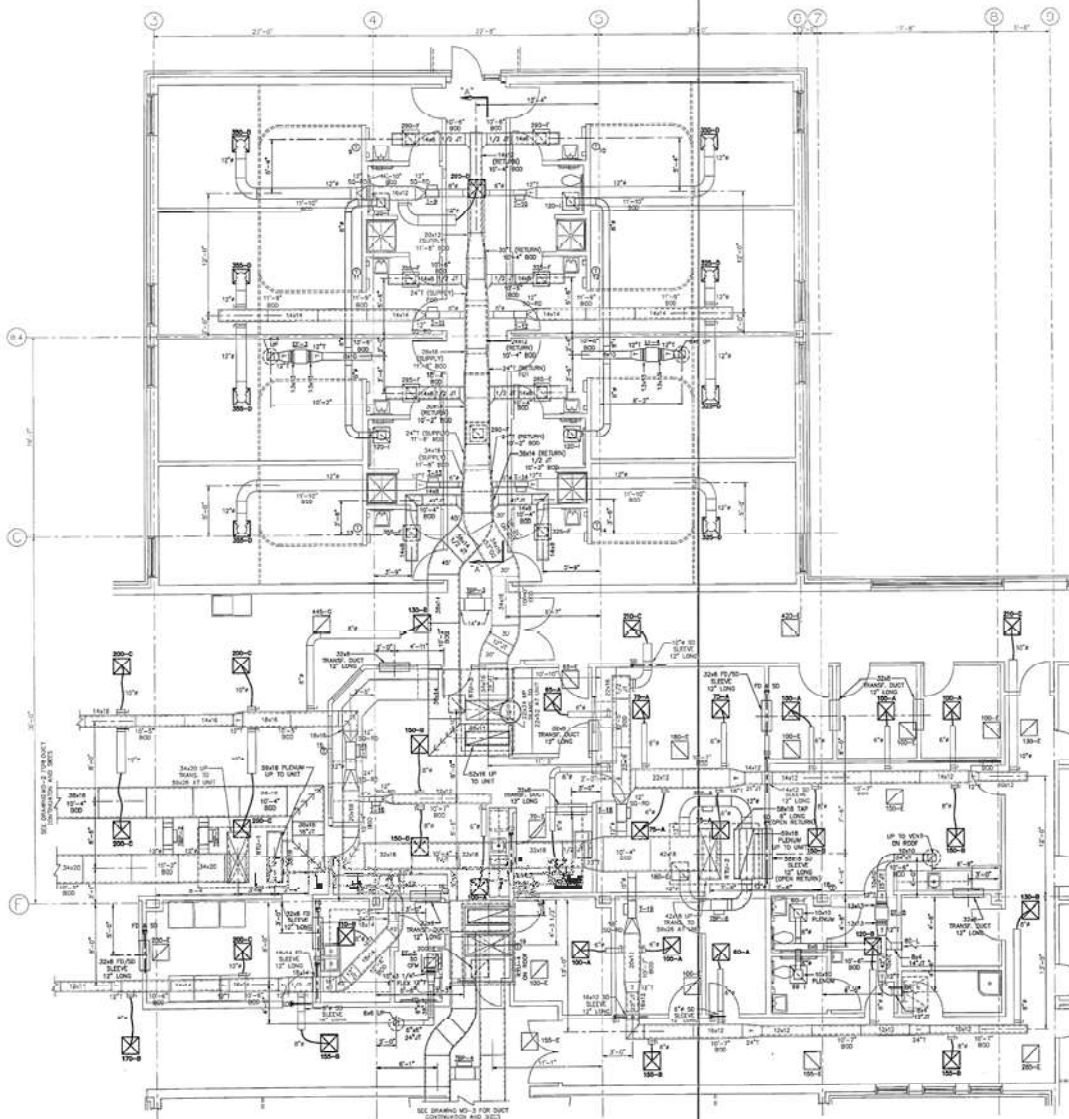


Figure 1 consists of two cross-sectional diagrams of a test fixture, labeled TYPE A and TYPE B. Both diagrams show a central component being tested, with a gasket or baked oil at the base. TYPE A features a 'LASTABLE POLISHED BRASS STRIPPER' and a 'TRIP POWER CORRECTION' mechanism. TYPE B features a 'POLISHED WOOD BRASS STRIPPER HARDED FLANGE' and an 'ADJUSTABLE HEIGHT' feature. Both diagrams include a 'TRIP POWER CORRECTION' mechanism and a 'GASKET OR BAKED OIL' at the base.



DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF S&B KNOWLEDGE, THESE CHANGES HAVE BEEN PROVIDED TO REPERMITS ADVISEES THROUGHOUT THE CONSTRUCTION PROCESS. BASED UPON THE MARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO THE ARCHITECT BY THE CONTRACTOR OR CONTRACTORS, THE ARCHITECT DOES NOT ASSURE THE ACCURACY OF THIS INFORMATION OR TAKE RESPONSIBILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.



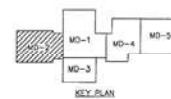
SECTION A-A, V-V

KEY PLAN

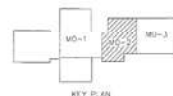
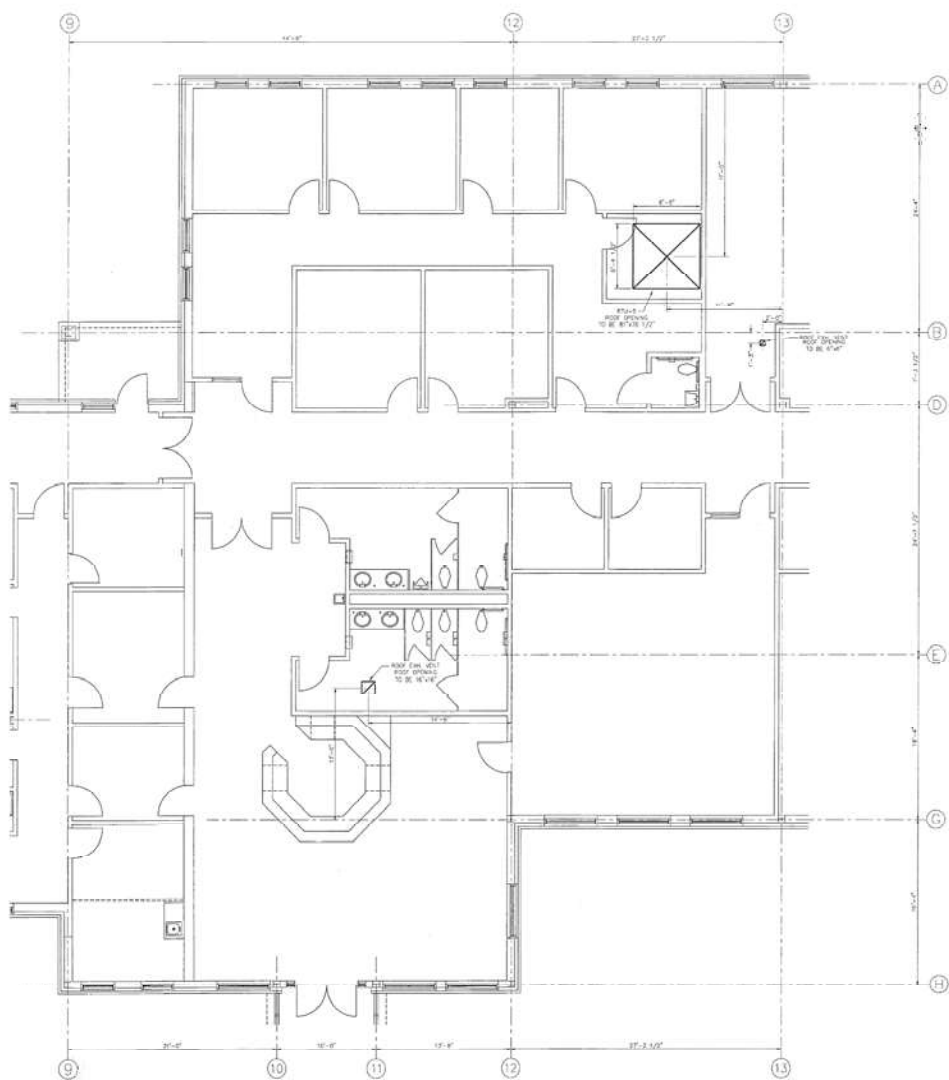
ENVIRONMENTAL AIR SYSTEMS, INC. MECHANICAL CONTRACTORS GREENSBORO, NC (919) 873-1095	
PROJECT NO. 172501 DRAWING NO. 172501-1 DATE 12-15-2011 SCALE 1/4" = 1'-0"	SHEET NO. 172501-1 TOTAL SHEETS 172501-1 TO 172501-10 DESIGNED BY J. L. BROWN CHECKED BY J. L. BROWN IN CHARGE BY J. L. BROWN APPROVED BY J. L. BROWN

HVAC LAYOUT
 PARTIAL PLAN VIEW
 AREA 1

GULFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GULFORD COUNTY, N.C.



DATE	1/23/91
BY	DAVE
DESCRIPTION	DAVE
APPROVED	DAVE
SCALE	1/4" = 1'-0"
NO. 602	13-202
0	
MD-2	



NEW YORK

NO-2

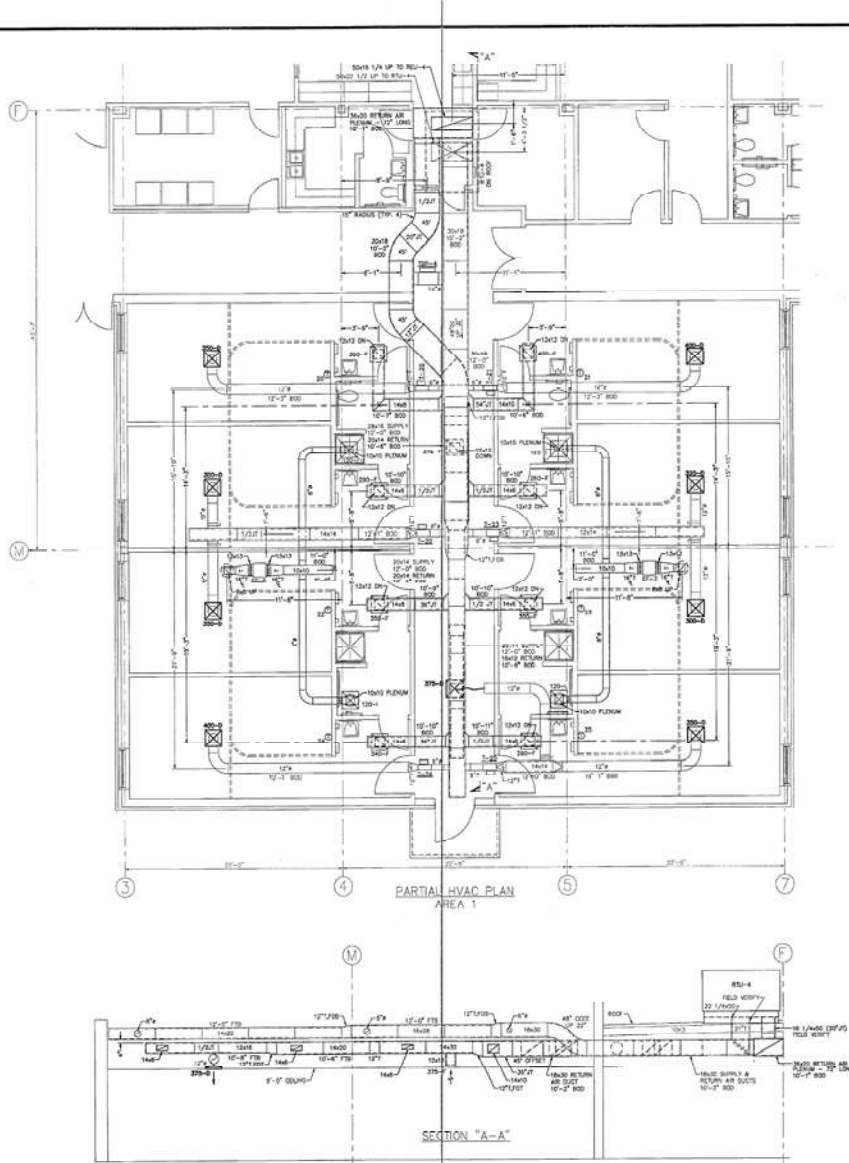
DATE	5/27/94	NO.	00000
HLR			

ROOF OPENING LAYOUT

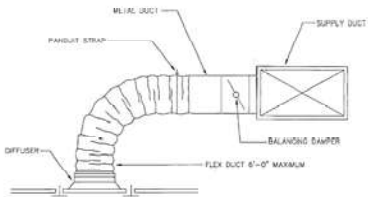
GILFORD COUNTY

ENVIRONMENTAL
AIR[illegible]

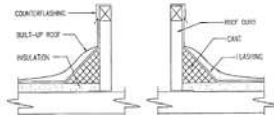
101



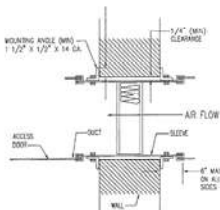
ENVIRONMENTAL AIR SYSTEMS, INC. MECHANICAL CONTRACTORS GREENSBORO, NC 27409-1075 (919) 733-1075	
GUILFORD COUNTY SUBSTANCE ABUSE CENTER GUILFORD COUNTY, N.C.	
HVAC LAYOUT PARTIAL PLAN VIEW AREA 1	
DATE: 1/20/03 DRAWN: J. B. BARNES CHECKED: J. B. BARNES INCHES: 1/4" = 1'-0" SHEET: 93-202	DESIGNED FOR: CONSTRUCTION A: ISSUED FOR APPROVAL REV: 0 DATE: 01/20/03



DIFFUSER DETAIL

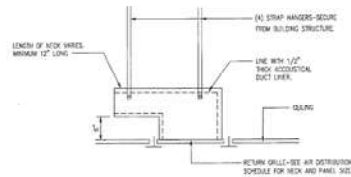


ROOF CURB DETAIL

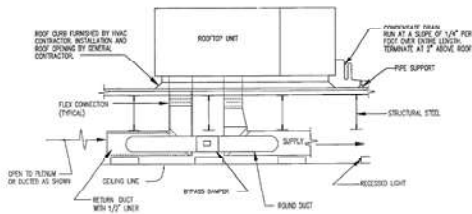


NOTE: FIRE DAMPERS SHALL CARRY A LABEL OF BE AS TESTED OR PART OF AN APPROVED LISTING THE REQUIRED HOURLY RATING OF BE TESTED AND INSTALLED IN ACCORDANCE WITH THE LISTING

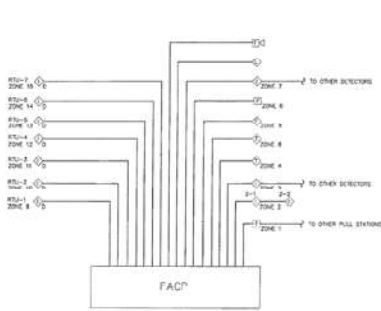
FIRE DAMPER DETAIL



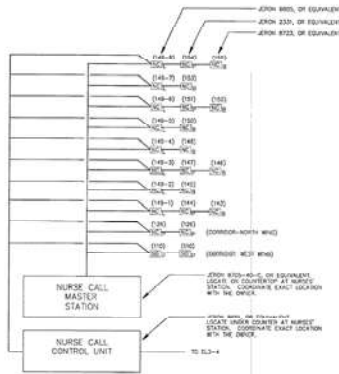
RETURN AIR GRILLE DETAIL



ROOFTOP AHU DETAIL

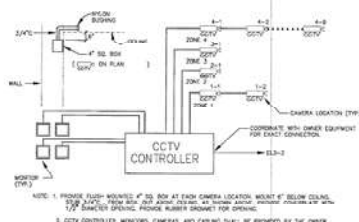


2 FIRE ALARM RISER DIAGRAM
NO SCALE

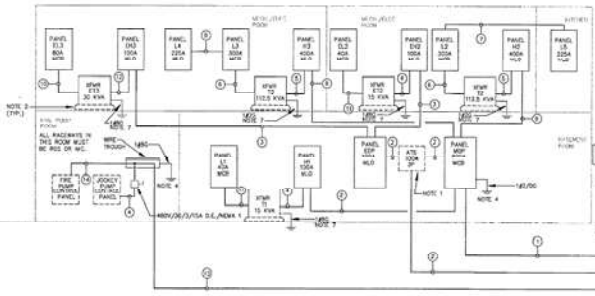


3 NURSE CALL RISER DIAGRAM
NO SCALE

SERVICE CONNECTED LOAD	
DESCRIPTION	LOAD
CHILLERS	1000
BOILERS	1000
WATER PUMPS	1000
WATER TREATMENT	1000
WATER HEATERS	1000
WATER COOLERS	1000
WATER FILTRATION	1000
WATER STORAGE	1000
WATER DISTRIBUTION	1000
WATER TREATMENT	1000
WATER COOLERS	1000
WATER FILTRATION	1000
WATER STORAGE	1000
WATER DISTRIBUTION	1000



4 CCTV SURVEILLANCE RISER DIAGRAM
NO SCALE



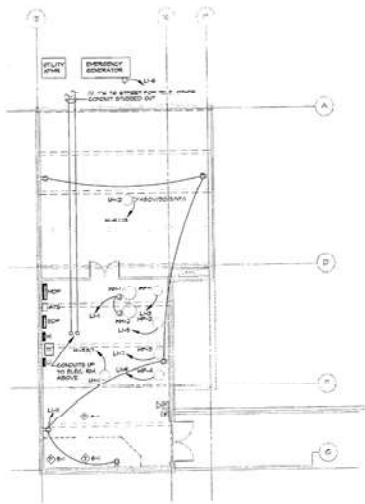
5 POWER RISER DIAGRAM
NO SCALE

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	POWER SUPPLY
[Symbol]	POWER DISTRIBUTION
[Symbol]	POWER CONDUIT
[Symbol]	POWER CABLE
[Symbol]	POWER TERMINAL
[Symbol]	POWER SWITCH
[Symbol]	POWER BREAKER
[Symbol]	POWER FUSE
[Symbol]	POWER RELAY
[Symbol]	POWER CONTACTOR
[Symbol]	POWER MOTOR
[Symbol]	POWER GENERATOR
[Symbol]	POWER TRANSFORMER
[Symbol]	POWER RECTIFIER
[Symbol]	POWER INVERTER
[Symbol]	POWER DIODE
[Symbol]	POWER TRIODE
[Symbol]	POWER TETRADE
[Symbol]	POWER PENTODE
[Symbol]	POWER HEXODE
[Symbol]	POWER SEPTODE
[Symbol]	POWER OCTODE
[Symbol]	POWER NONODE
[Symbol]	POWER DECADE
[Symbol]	POWER ELUDE
[Symbol]	POWER HEKODE
[Symbol]	POWER IKTODE
[Symbol]	POWER LUTODE
[Symbol]	POWER MVTODE
[Symbol]	POWER NIKODE
[Symbol]	POWER PIVODE
[Symbol]	POWER RIKODE
[Symbol]	POWER SIVODE
[Symbol]	POWER TIKODE
[Symbol]	POWER UVODE
[Symbol]	POWER VIKODE
[Symbol]	POWER WVODE
[Symbol]	POWER XIKODE
[Symbol]	POWER YIKODE
[Symbol]	POWER ZIKODE

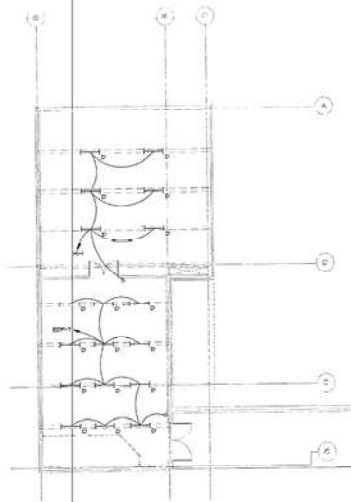
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	POWER SUPPLY
[Symbol]	POWER DISTRIBUTION
[Symbol]	POWER CONDUIT
[Symbol]	POWER CABLE
[Symbol]	POWER TERMINAL
[Symbol]	POWER SWITCH
[Symbol]	POWER BREAKER
[Symbol]	POWER FUSE
[Symbol]	POWER RELAY
[Symbol]	POWER CONTACTOR
[Symbol]	POWER MOTOR
[Symbol]	POWER GENERATOR
[Symbol]	POWER TRANSFORMER
[Symbol]	POWER RECTIFIER
[Symbol]	POWER INVERTER
[Symbol]	POWER DIODE
[Symbol]	POWER TRIODE
[Symbol]	POWER TETRADE
[Symbol]	POWER PENTODE
[Symbol]	POWER HEXODE
[Symbol]	POWER SEPTODE
[Symbol]	POWER OCTODE
[Symbol]	POWER NONODE
[Symbol]	POWER DECADE
[Symbol]	POWER ELUDE
[Symbol]	POWER HEKODE
[Symbol]	POWER IKTODE
[Symbol]	POWER LUTODE
[Symbol]	POWER MVTODE
[Symbol]	POWER NIKODE
[Symbol]	POWER PIVODE
[Symbol]	POWER RIKODE
[Symbol]	POWER SIVODE
[Symbol]	POWER TIKODE
[Symbol]	POWER UVODE
[Symbol]	POWER VIKODE
[Symbol]	POWER WVODE
[Symbol]	POWER XIKODE
[Symbol]	POWER YIKODE
[Symbol]	POWER ZIKODE

- GENERAL NOTES**
1. REFER TO ARCHITECTURAL DRAWINGS FOR WATTAGE RATES AND PARTITIONS THAT EXCEED THE 1000 WATT RATE. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 2. ALL WIRING SHALL BE DONE TO THE REQUIREMENTS OF THE CODES UNLESS NOTED OTHERWISE.
 3. ALL ELECTRICAL SYSTEMS SHALL BE DESIGNED WITH THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 4. WHERE COVER PLATES CONFLICT WITH CODEBOOKS OR MECHANICAL, MECHANICAL, OR PLUMBING SYSTEMS, THE COVER PLATES SHALL BE ADJUSTED TO FIT THE CODEBOOKS OR MECHANICAL, MECHANICAL, OR PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 5. COORDINATE LOCATIONS OF EACH LIGHT FIXTURE WITH THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 6. WHERE BULB-LEVEL DIMENSIONS FOR LIGHTING IS CODEBOOKS, MECHANICAL, AND PLUMBING SYSTEMS, THE BULB-LEVEL DIMENSIONS SHALL BE ADJUSTED TO FIT THE CODEBOOKS OR MECHANICAL, MECHANICAL, OR PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 7. THE RECEPTACLE AND CONNECTIONS SHALL BE INSTALLED OUT OF VIEW OF THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 8. WHERE LOCATIONS OF POWER RECEPTACLES OR EQUIPMENT ARE NOT SHOWN IN THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS, THE RECEPTACLES OR EQUIPMENT SHALL BE INSTALLED OUT OF VIEW OF THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 9. BULB-LEVEL DIMENSIONS FOR LIGHTING IS CODEBOOKS, MECHANICAL, AND PLUMBING SYSTEMS, THE BULB-LEVEL DIMENSIONS SHALL BE ADJUSTED TO FIT THE CODEBOOKS OR MECHANICAL, MECHANICAL, OR PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 10. WHERE A BULB-LEVEL DIMENSION IS CODEBOOKS, MECHANICAL, AND PLUMBING SYSTEMS, THE BULB-LEVEL DIMENSIONS SHALL BE ADJUSTED TO FIT THE CODEBOOKS OR MECHANICAL, MECHANICAL, OR PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 11. WHERE AN INDIVIDUALLY ADJUSTED BATTERY SWITCH, BATTERY OR BATTERY CHARGER IS SHOWN IN THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS, THE BATTERY SWITCH, BATTERY OR BATTERY CHARGER SHALL BE INSTALLED OUT OF VIEW OF THE ARCHITECTURAL, MECHANICAL, AND PLUMBING SYSTEMS. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)
 12. MECHANICAL EQUIPMENT SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR. (SEE ALSO ELECTRICAL CODES FOR PARTITIONING AND PARTITIONING PARTITIONS FOR THE DISCREPANCY.)

DISCLAIMER FOR RECORD DRAWINGS
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS, BASED UPON THE MARKED-UP DRAWINGS AND OTHER DATA FURNISHED TO US BY THE ARCHITECT. WE DO NOT ASSUME THE ACCURACY OF THE INFORMATION OR THE RESPONSIBILITY FOR ANY ERROR OR OMISSION INCORPORATED INTO THE DRAWINGS AS A RESULT. THE USER IS ADVISED TO OBTAIN NECESSARY INFORMATION PRIOR TO USING THE INFORMATION.



1 BASEMENT PLAN - POWER
1/8"=1'-0"

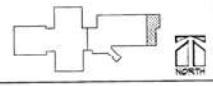


1 BASEMENT PLAN - LIGHTING
1/8"=1'-0"

LIGHTING FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	QUANTITY	MANUFACTURER	NOTES	WALL
A	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
A1	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
B	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
C	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
C1	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
D	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
E	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
F	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
G	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
H	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
I	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
J	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
K	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
L	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
M	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
N	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
O	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
P	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
Q	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
R	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
S	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
T	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
U	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
V	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
W	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
X	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
Y	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217
Z	EXIT-2000 LUMINA HURDLE	1	4-4000000	2 X 4 RECESSED 1/2" THICKNESS, RECESSED INTO LENS	217

- NOTES:
1. EXIT-2000 LUMINA HURDLE LAMP SHALL BE PROVIDED WHERE APPLICABLE. LAMP SHALL BE PROVIDED WHERE APPLICABLE.
 2. EXIT-2000 LUMINA HURDLE LAMP SHALL BE PROVIDED WHERE APPLICABLE. LAMP SHALL BE PROVIDED WHERE APPLICABLE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING EACH FIXTURE LOCATION WITH THE ARCHITECTURAL AND MECHANICAL ENGINEERS AND FOR VERIFYING THE REQUIRED FIXTURES FOR EACH LOCATION. THE CONTRACTOR SHALL PROVIDE A LIST OF ALL FIXTURES, INCLUDING THE MANUFACTURER, MODEL, AND OTHER INFORMATION AS REQUIRED FOR PROPER INSTALLATION. THE LISTING SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.
 4. VARIOUS MOUNTING CONFIGURATIONS ARE REQUIRED.

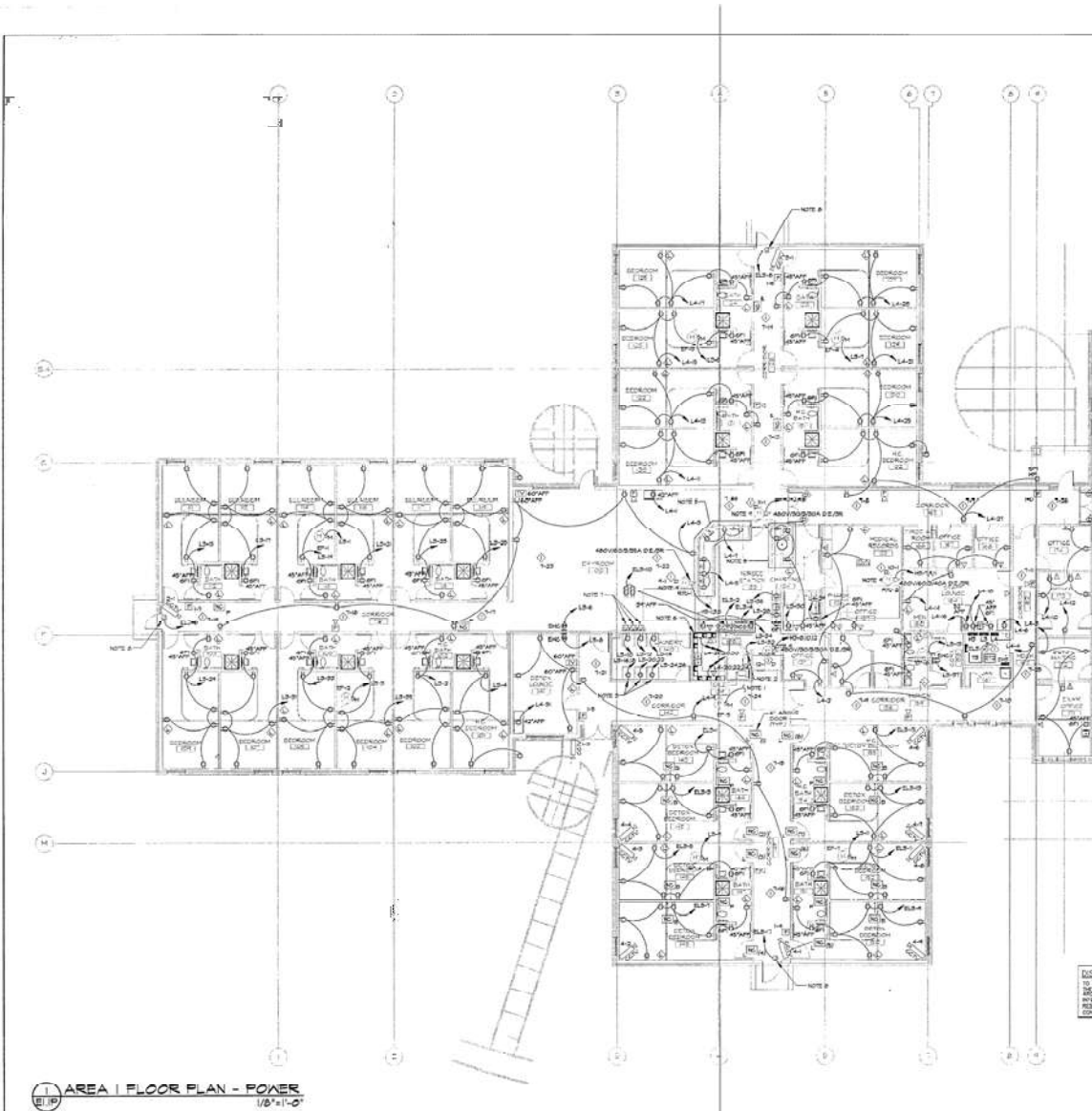
DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROJECT, BASED UPON THE INFORMATION PROVIDED BY THE ARCHITECTURAL AND MECHANICAL ENGINEERS. THE ARCHITECT DOES NOT ASSUME THE ACCURACY OF THE INFORMATION OR THE PROVISIONS OF THE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS.



GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

DATE: 10/1/2010
 PROJECT: 10000
 SHEET: 10 OF 10
 DRAWN BY: JAC
 CHECKED BY: JAC
 SCALE: 1/8" = 1'-0"

ELOPL
 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 10000



- NOTES:
1. CONNECT TO LIGHT SWITCH IN TOILET - 105. COORDINATE WITH ARCH. CONTRACTOR FOR LOCATION AND DIMENSION IS 1'0" X 1'0" AT 105.
 2. PROVIDE HALLWAY LIGHTS FOR CORRIDOR 105. LOCATED ABOVE CEILING. PROVIDE CONDUIT AND WIRE FOR LOCATION OF REQUIRED EQUIPMENT.
 3. COORDINATE WITH OWNER-PURCHASED EQUIPMENT TO PROVIDE RECEPTACLE AS REQUIRED.
 4. COORDINATE RECEPTACLE LOCATION WITH EQUIPMENT PROVIDER.
 5. MOUNT OUTLETS IN HALLWAY. COORDINATE WITH ARCHITECTURAL ELEVATIONS.
 6. MOUNT SURFACE RACEWAY IN LAD 128 AT 40' AFF.
 7. OUTLET FOR FIRE ALARM. COORDINATE WITH TELEPHONE CO. FOR EXACT REQUIREMENTS.
 8. PROVIDE CIRCUIT FOR ROOM 101. COORDINATE WITH HARDWARE SUPPLIER FOR EXACT REQUIREMENTS.
 9. PROVIDE RECEPTACLE AT EACH END OF CORRIDOR. COORDINATE WITH EQUIPMENT LOCATION. CIRCUIT TO 101.

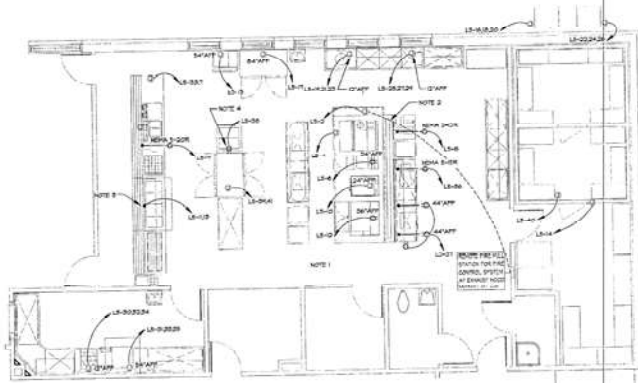
DISCLAIMER FOR RECORD DRAWINGS:
 TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE PERIOD OF THE DESIGN. WE DO NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.

AREA I FLOOR PLAN - POWER
 1/8" = 1'-0"

Minor Mayer Plastics, Associates, P.A.
 10000 N. 10th Ave.
 Suite 100
 Charlotte, NC 28215
 Phone: 704.366.1111
 Fax: 704.366.1112

GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

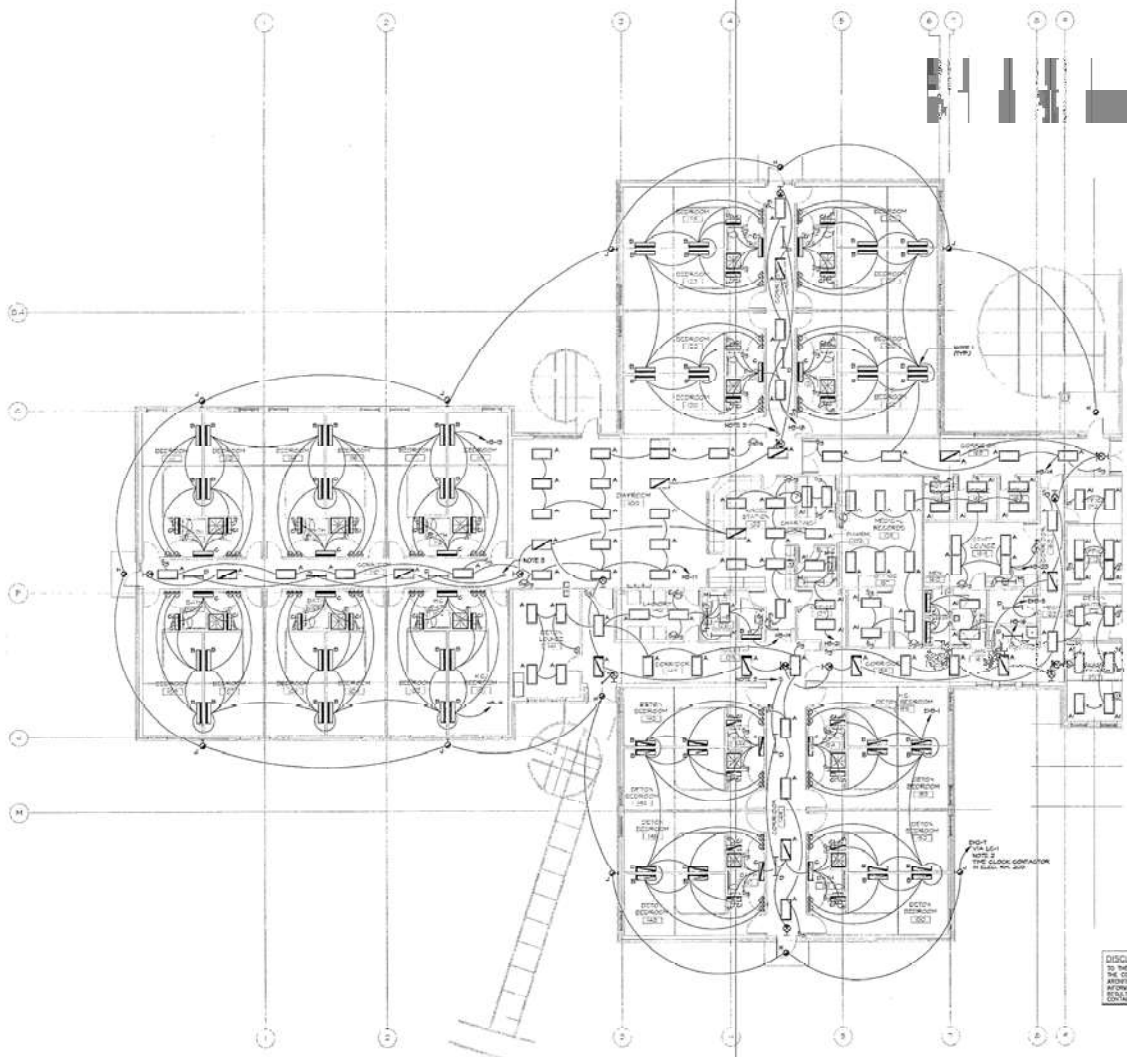
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01-10-01	MM	1.05
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01-10-01	MM	1.07
01-10-01	MM	1.08
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01-10-01	MM	1.13
01-10-01	MM	1.14
01-10-01	MM	1.15
01-10-01	MM	1.16
01-10-01	MM	1.17
01-10-01	MM	1.18
01-10-01	MM	1.19
01-10-01	MM	1.20



KITCHEN EQUIPMENT PLAN - POWER
1/4" = 1'-0"

- NOTES:
1. COORDINATE WITH KITCHEN CONSULTANT FOR LOCATION AND TYPE OF CONNECTION FOR EACH PIECE OF EQUIPMENT. ALSO COORDINATE WITH MANUFACTURER ON EQUIPMENT BEFORE CONNECTING POWER TO THE EQUIPMENT.
 2. PROVIDE EMPTY CONDUIT FOR FIRE CONTROL SYSTEM.
 3. PROVIDE WATERPROOF STUD-UP TO EQUIPMENT.
 4. HATCHES OF APPLIANCE ARE NOTED IN RELEVANT.
 5. INTERCONNECT SHUT OFF CIRCUIT BREAKERS WITH FIRE CONTROL SYSTEM SO THAT ALL EQUIPMENT UNDER HOOD IS SHUT OFF UPON ACTIVATION OF FIRE CONTROL SYSTEM.
 6. PROVIDE FIRE FIGHTING EQUIPMENT FOR THE CONTROL SYSTEM.

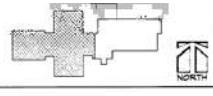
DISCLAIMER FOR RECORD DRAWINGS.
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS, BASED UPON THE WRITTEN-UP CHANGES AND OTHER DATA SUBMITTED TO THE ARCHITECT BY THE CONTRACTOR OR SUBCONTRACTOR. NO WARRANTIES ARE MADE BY THE ARCHITECT AS TO THE ACCURACY OF THE INFORMATION OR THE REQUIREMENTS FOR ANY OTHER INFORMATION NOTED IN THE DRAWINGS. AS A RESULT, THE OWNER IS ADVISED TO OBTAIN NECESSARY VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.



- NOTES**
1. SWITCH THE TIME "T" CHANGES SO THAT ONE SWITCH OPERATES THE ENTIRE ROOM AND THE OTHER SWITCH OPERATES THE ENTIRE ROOM. THE SWITCHES SHOULD BE LOCATED IN EACH ROOM. THE SWITCHES SHOULD BE LOCATED IN EACH ROOM. THE SWITCHES SHOULD BE LOCATED IN EACH ROOM. THE SWITCHES SHOULD BE LOCATED IN EACH ROOM.
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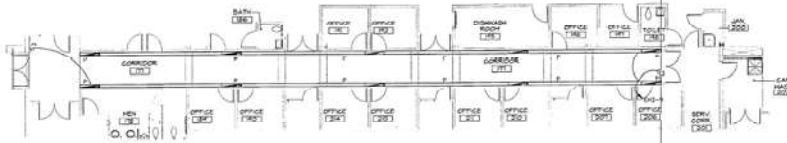
AREA | FLOOR PLAN - LIGHTING
 1/8"=1'-0"



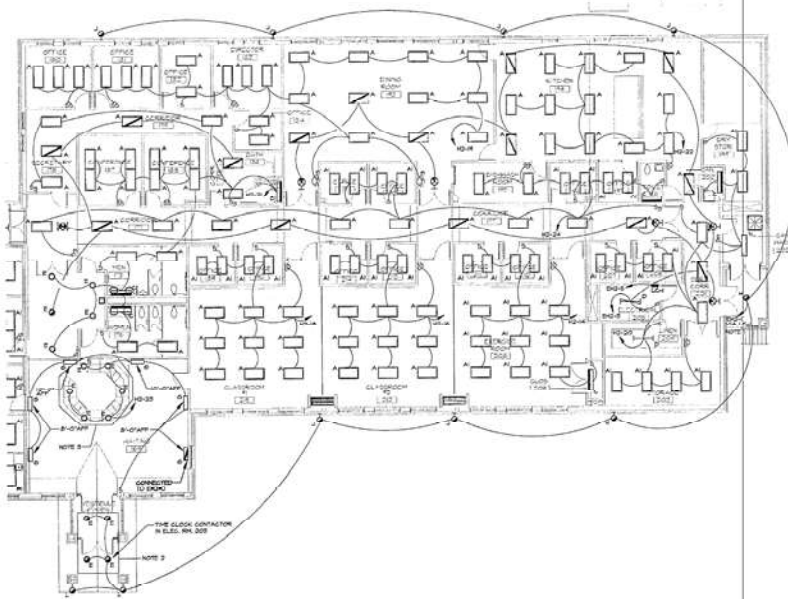
GUILFORD COUNTY
 SUBSTANCE ABUSE CENTER
 GUILFORD COUNTY, NORTH CAROLINA

NOTES

DATE: 10/1/2010
 PROJECT: SUBSTANCE ABUSE CENTER
 DRAWN BY: J. L. L. L.
 CHECKED BY: J. L. L. L.
 APPROVED BY: J. L. L. L.
 PROJECT: 11/1/2010



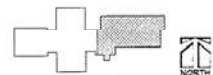
2 AREA 2 FLOOR PLAN - ALT. LIGHTING
1/8" = 1'-0"

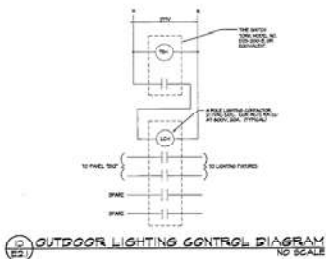
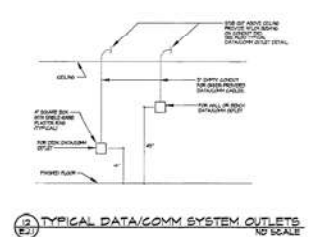
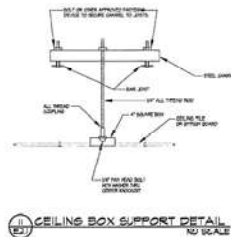
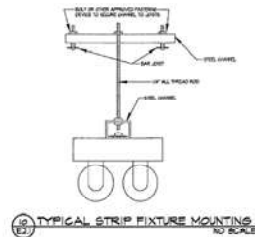
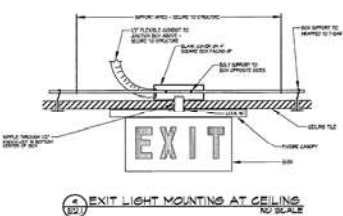
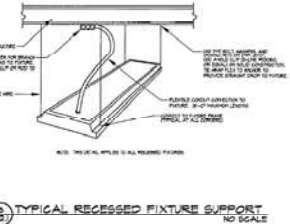
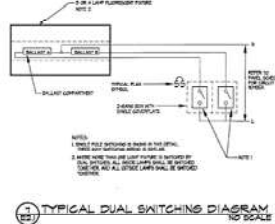
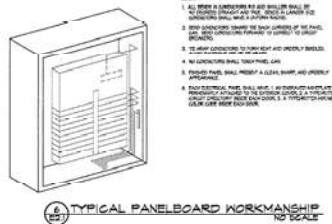
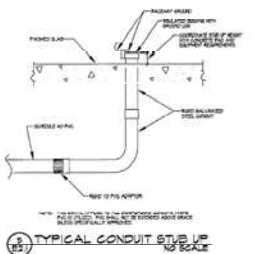
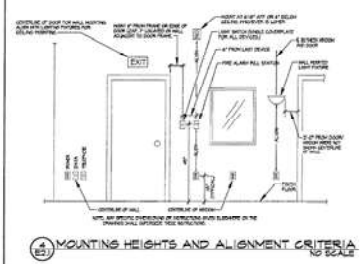
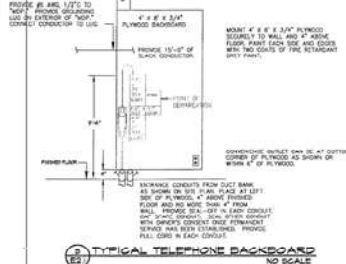
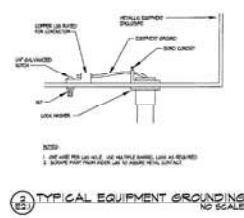
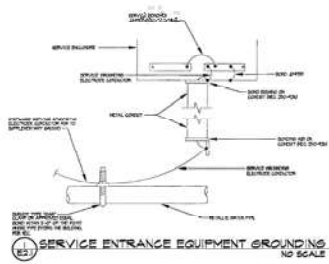


1 AREA 2 FLOOR PLAN - LIGHTING
1/8" = 1'-0"

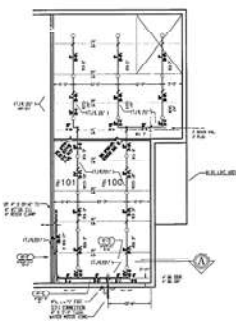
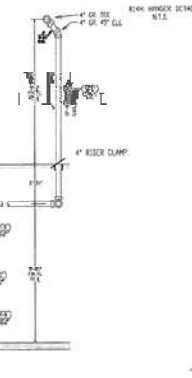
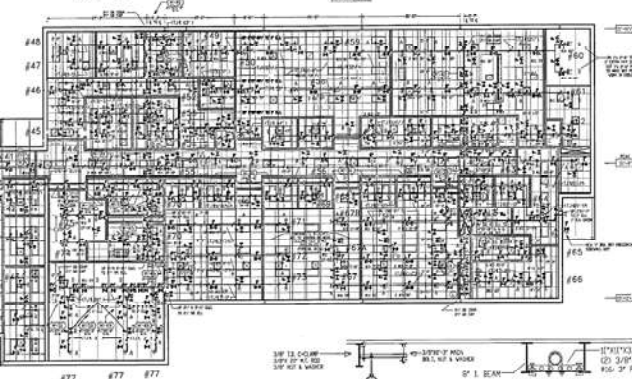
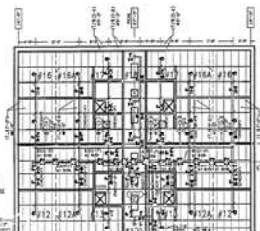
- NOTES
1. SEE DETAIL 13.12.1.
 2. PROVIDE GROUND WATER RELIEF FOR THESE TYPE 12' FEATURES.
 3. PROVIDE SLIPED GRATING COVERS FOR THESE TYPE 12' FEATURES.

DISCLAIMER FOR RECORD DRAWINGS:
TO THE BEST OF OUR KNOWLEDGE, THESE DRAWINGS HAVE BEEN REVIEWED TO REFLECT CHANGES MADE DURING THE CONSTRUCTION PROCESS, BASED UPON THE WORKS OF OTHERS AND OTHER DATA PROVIDED TO THE ARCHITECT BY THE CONTRACTOR OR SUBCONTRACTOR. THE ARCHITECT DOES NOT ASSUME THE LIABILITY OF ANY INFORMATION OR ANY RESPONSIBILITY FOR ANY ERROR OR OMISSION INCURRED BY THE DRAWINGS AS A RESULT. THE OWNER IS ADVISED TO OBTAIN INDEPENDENT VERIFICATION PRIOR TO USING THE INFORMATION CONTAINED HEREIN.





DISCLAIMER FOR RECORD DRAWINGS:
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[illegible]

Addendum #4 (Bid 20271) Non-Mandatory Site Walkthrough
Renovations for the Women with Children Recovery Program at Gibson Park
April 8, 2024 @ 2:00 PM

Name	Company	Email
Malcolm Hawkins	1HR Architecture, Durham m.hawkins@1hrarchitecture.com	
Steve Hastings	Novus Architects stevehastings@novusarchitects.com	
Liz Sims	Michael Graves lsims@michaelgraves.com	
KEL MCDANIEL	MICHAEL GRAVES KMCDANIEL@MICHAELGRAVES.COM	
JENESSA VALDEZ	HH ARCHITECTURE	JVALDEZ@HH-ARCH.COM
MARGIE GORDON	CPL ARCHITECTS	MGORDON@CPLTEAM.COM
Christine Ferriss	Vibe-Interior Design	christine@vibedesign.com
Charles Rich	McKissick Architects	CRICH@MCKISSICKASSOCIATES.COM

Addendum #5 - (Bid 20271) Bidder Questions
Renovations for the Women with Children Recovery Program at Gibson Park

1. Can you provide a copy of the blueprints for the space? Can you confirm how many units will be in the space, along with how many recreational or mixed-use spaces? **Attachment B of the RFQ includes the conceptual demo scope. Attachment C of the RFQ includes the conceptual floor plan modifications. Addendum #3 includes the record drawings for the existing facility. There will be 28 bedrooms in the facility, as well as the 3 group rooms, the nutrition kitchen/ great room area and two outdoor recreational spaces.**
2. Can you elaborate on the design scope needed or when will the full RFP released? **The design scope is listed in the RFQ. The presentation from the pre-bid zoom is attached hereto and incorporated herein by reference..**
3. Can you provide details on when the renovations will be completed? **The proposed schedule is included in Attachment A of the RFQ.**
4. I wanted to clarify if the letter of intent/Capability Statement is due on 4/24, or the actual proposal? **Please see Qualification and Submission on Page 7 & 8 of the RFQ. All respondents are required to prepare their proposals in accordance with the instructions outlined under Qualification and Submission.**

Renovations for the Women with Children Recovery Program at Gibson Park

April 8, 2025



Anticipated Design Services include:

- A. Architecture
- B. Interior Design
- C. Hardware Specifications
- D. Civil Engineering including Site Surveys
- E. Structural Engineering
- F. Landscape Architecture/ Playground Design
- G. Mechanical Engineering including Plumbing and Sprinklers
- H. Electrical Engineering including Fire Alarm, Low-Voltage and Security Systems
- I. Kitchen Equipment Design
- J. Cost Estimation and Scheduling

Scope of Work includes:

1. Internal space configuration requiring modifications of walls to accommodate the new operational use. The conceptual floor plan is based on initial programming meetings with the service provider Volunteers of America (VOA).
2. External upgrades for exterior fitness areas including playground equipment, covered patios, sidewalk improvements, landscaping improvements, parking lot lighting, and fencing.
3. Evaluation of existing windows for operability, and replacement, as necessary.
4. Interior finish repairs and upgrades (cove base, floor tiles, ceilings, paint, signage, etc.)
5. Evaluation of existing hardware for the new operational use and installation of door access control system.
6. The existing roof is a shingle roof, which has been recently replaced and is still under warranty.
7. Renovation of kitchen serving area as well as evaluation of the remainder of the kitchen equipment to determine what equipment needs replacement.
8. Selection/ Specification of new FF&E to meet DHSR requirements. Note: The DHSR usage classification does not include anti-ligature provisions.
9. Evaluate compliance with energy codes to meet NC Building code requirements
10. Replacement of fire alarm system.
11. Replacement of the existing emergency back-up generator.
12. Installation of necessary low voltage wiring to support alarms, cameras and IT infrastructure
13. Replacement of existing interior and exterior lighting with potential for replacement or upgrades.
14. Replacement of existing electrical outlets with child-proof outlets.
15. Evaluation/ replacement of plumbing fixtures.
16. Reconfiguration of existing recently replaced HVAC components.

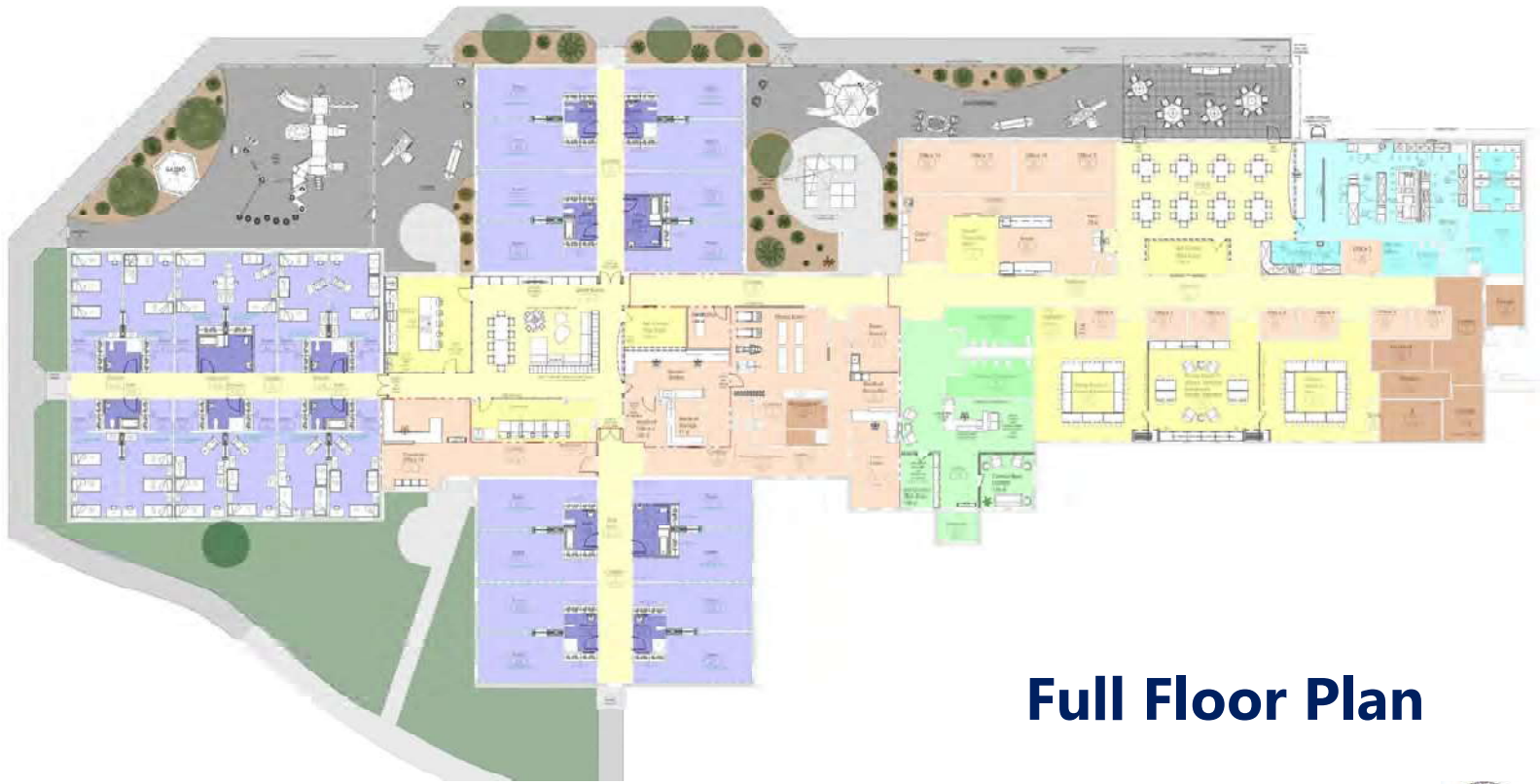
Floor Plan Schematics

Guilford County has completed initial programming with Volunteers of America to help determine the scope of work for the Renovations at Gibson Park.

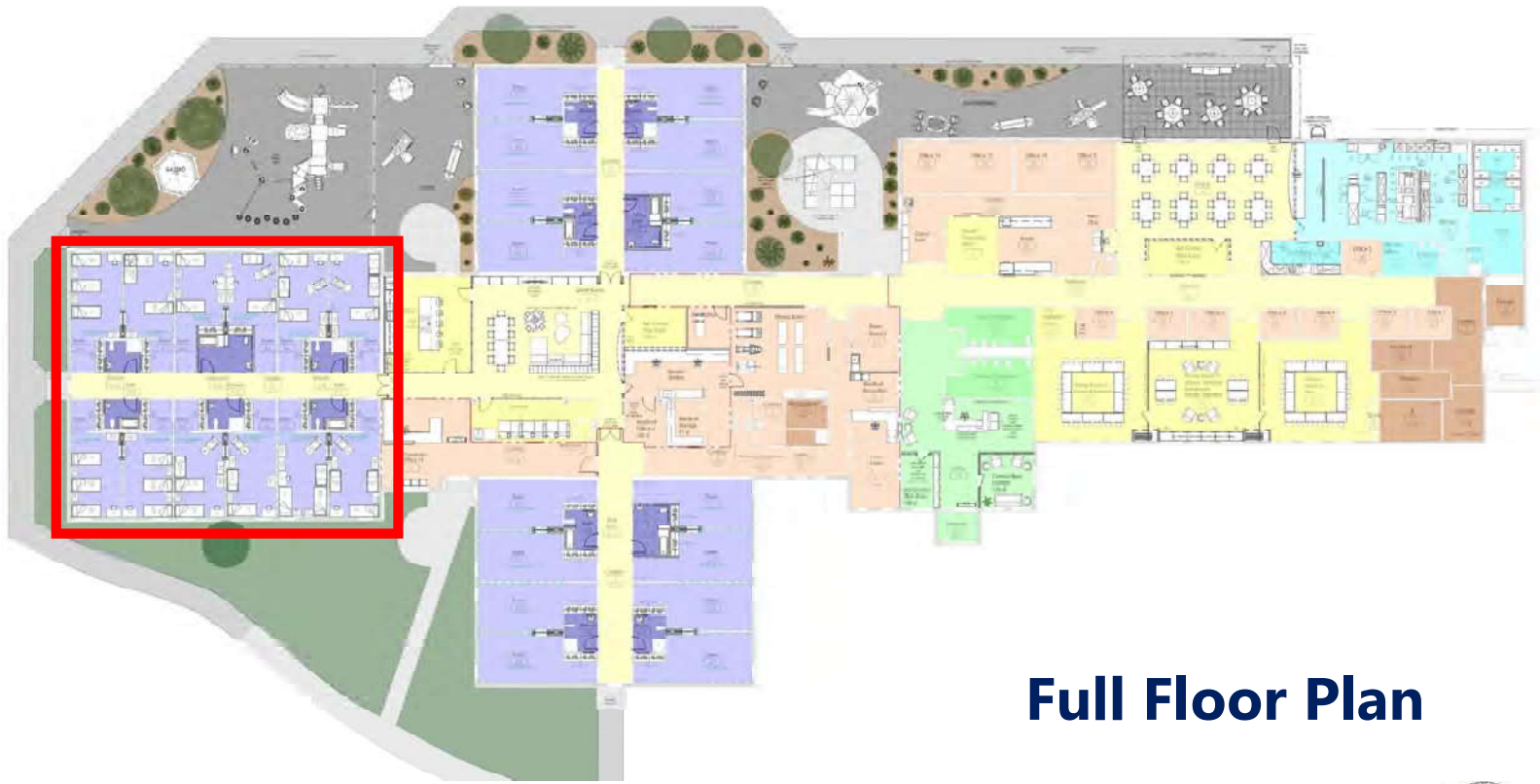
A conceptual renovation plan is included in the RFQ.

The selected design team will further develop this plan with VOA and Guilford County staff.

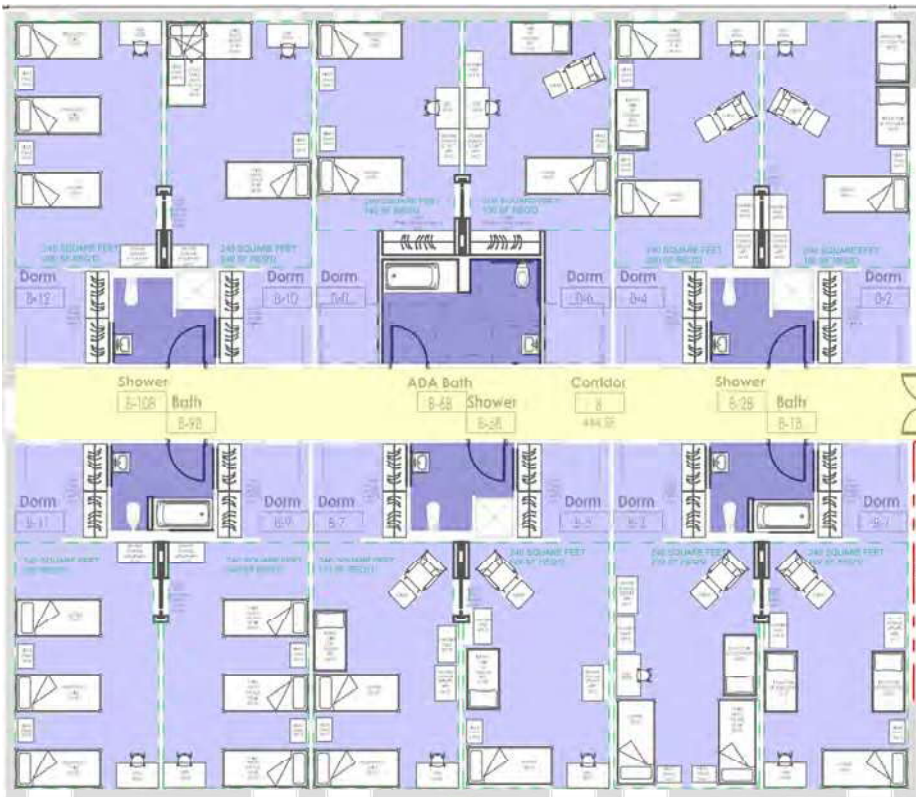




Full Floor Plan

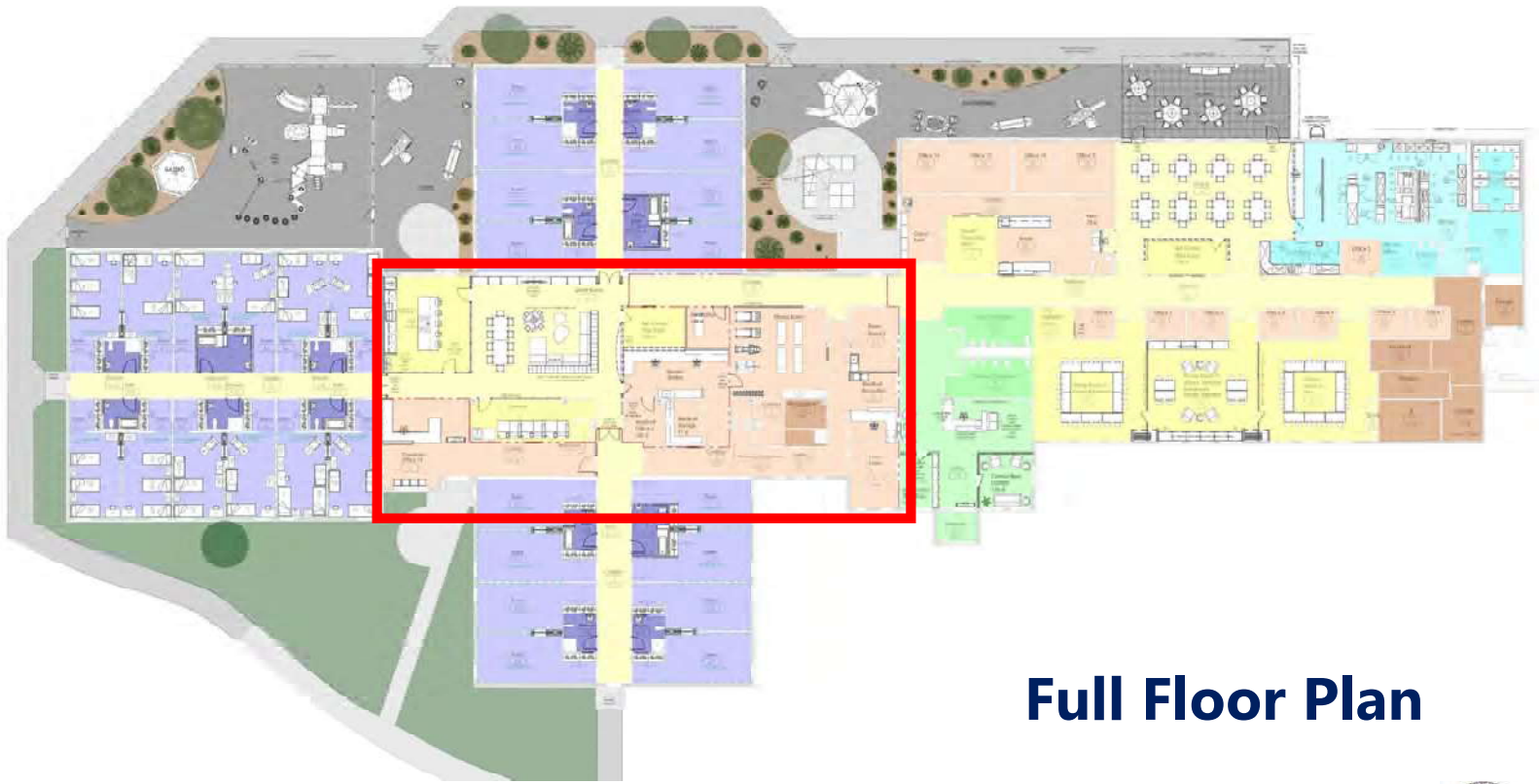


Full Floor Plan

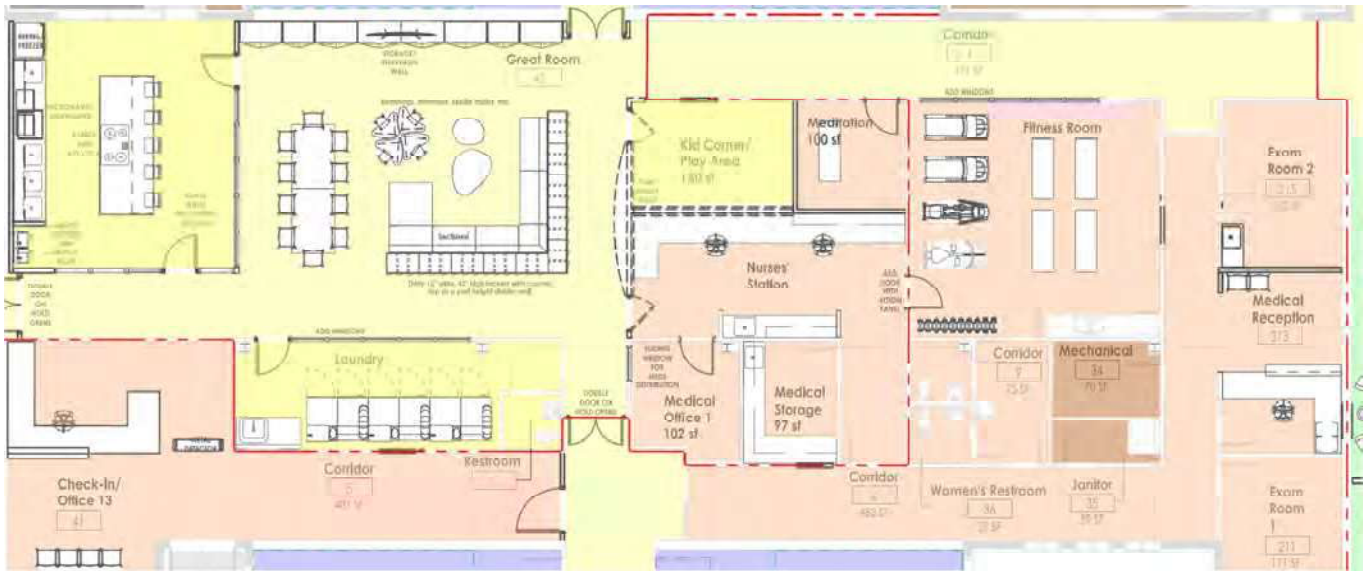


Bedrooms

1. Renovation of existing Jack-and-Jill Bathrooms with access from corridors for better resident safety/ security.
2. Replacement of 50% of showers with tubs.
3. Inclusion of a full ADA bath with a tub in each wing.
4. Addition of a pocket door between rooms to create a "suite" for mothers with additional children
5. Replacement of bedroom lighting
6. Addition of double doors on each wing.

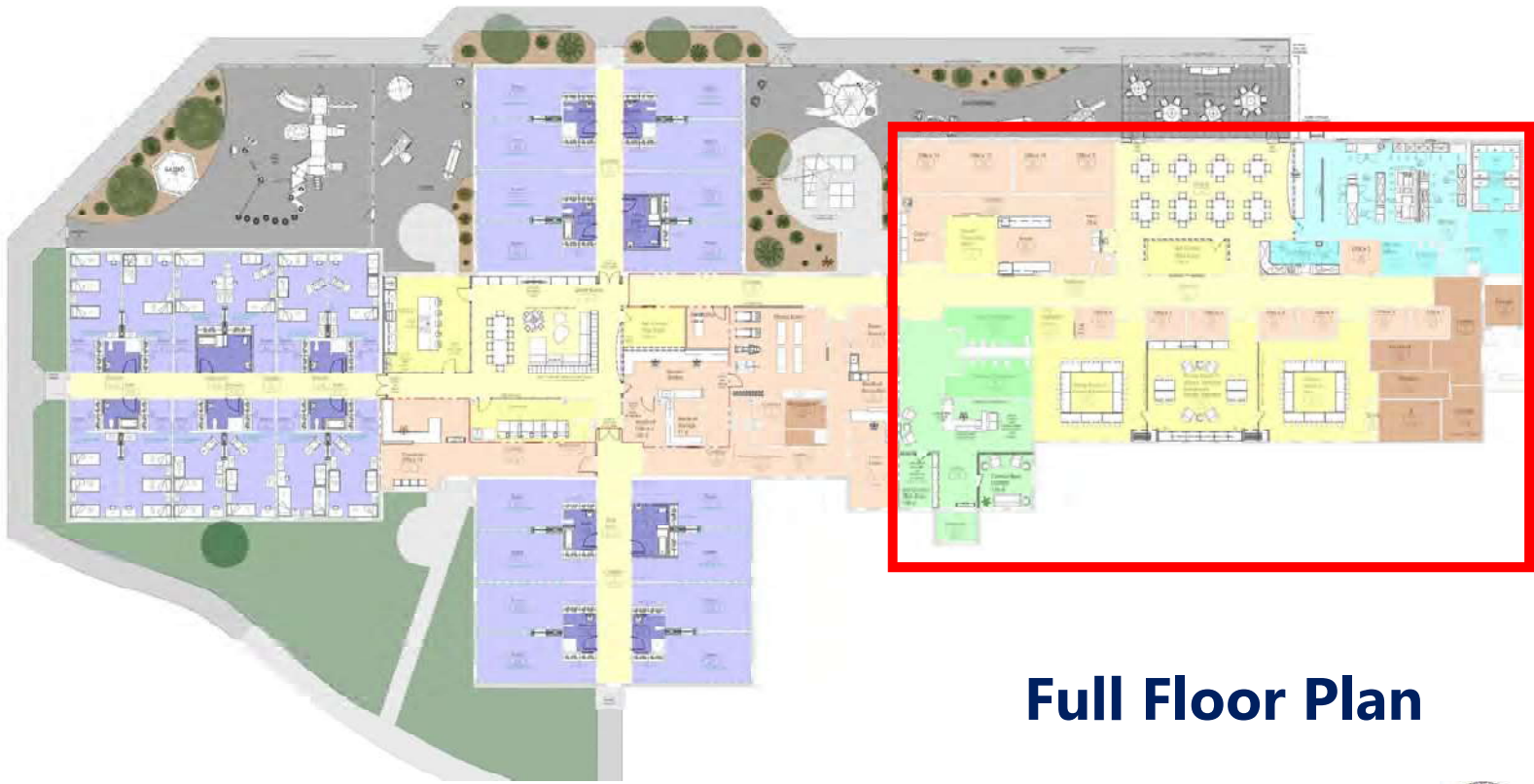


Full Floor Plan



Great Room and Medical Suite

1. Renovation of existing staff entrance to provide a secondary entrance for residents.
2. Renovation of laundry to provide laundry facilities for mothers.
3. Renovation of existing day room to provide a family style great room as well as a nutrition kitchen for mothers to cook for their families on weekends.
4. Renovation of existing larger nursing station and medical area to include a kid's corner, smaller nurses' station, medical offices, medical reception and exam rooms, as well as a fitness area with a meditation room.

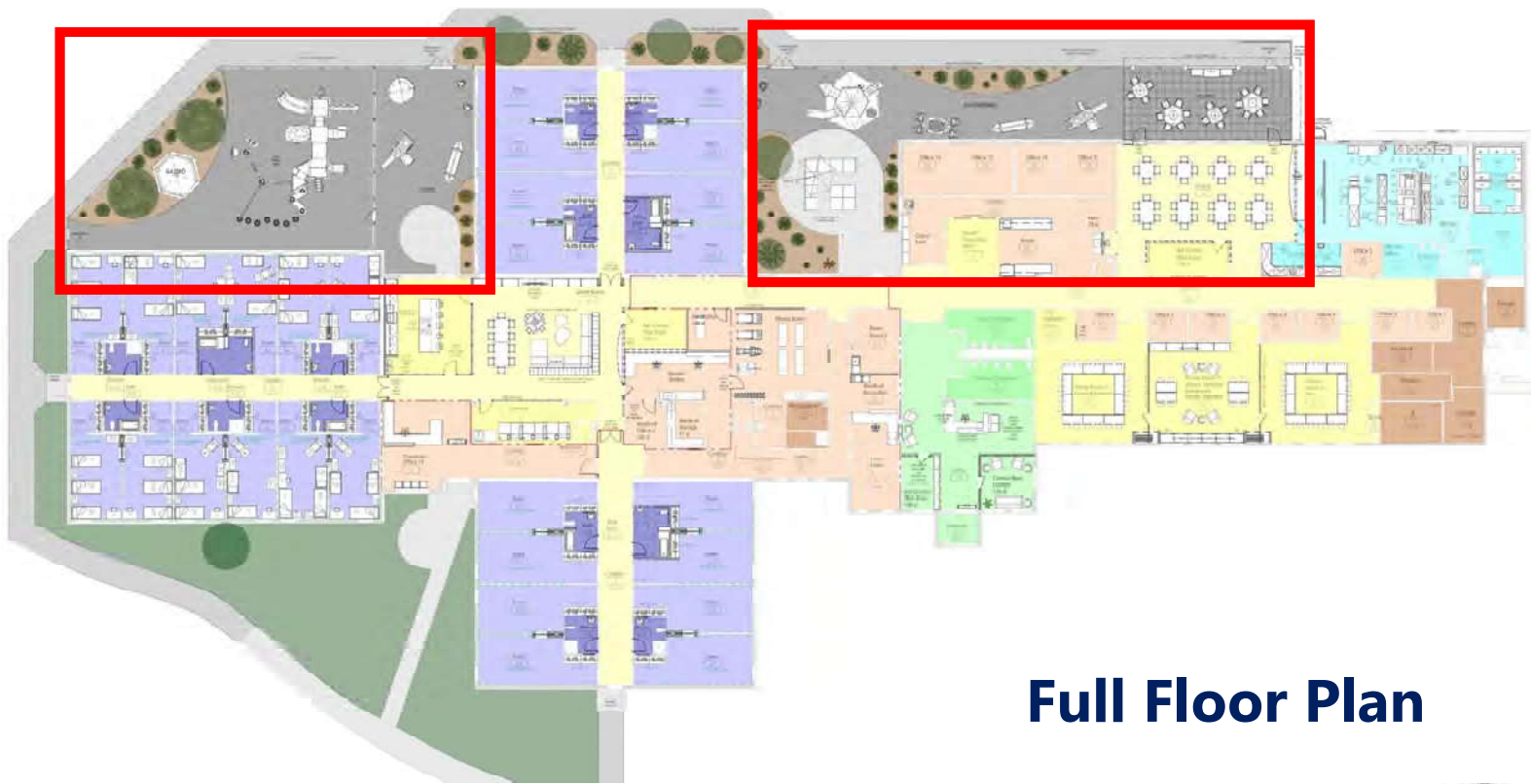


Full Floor Plan

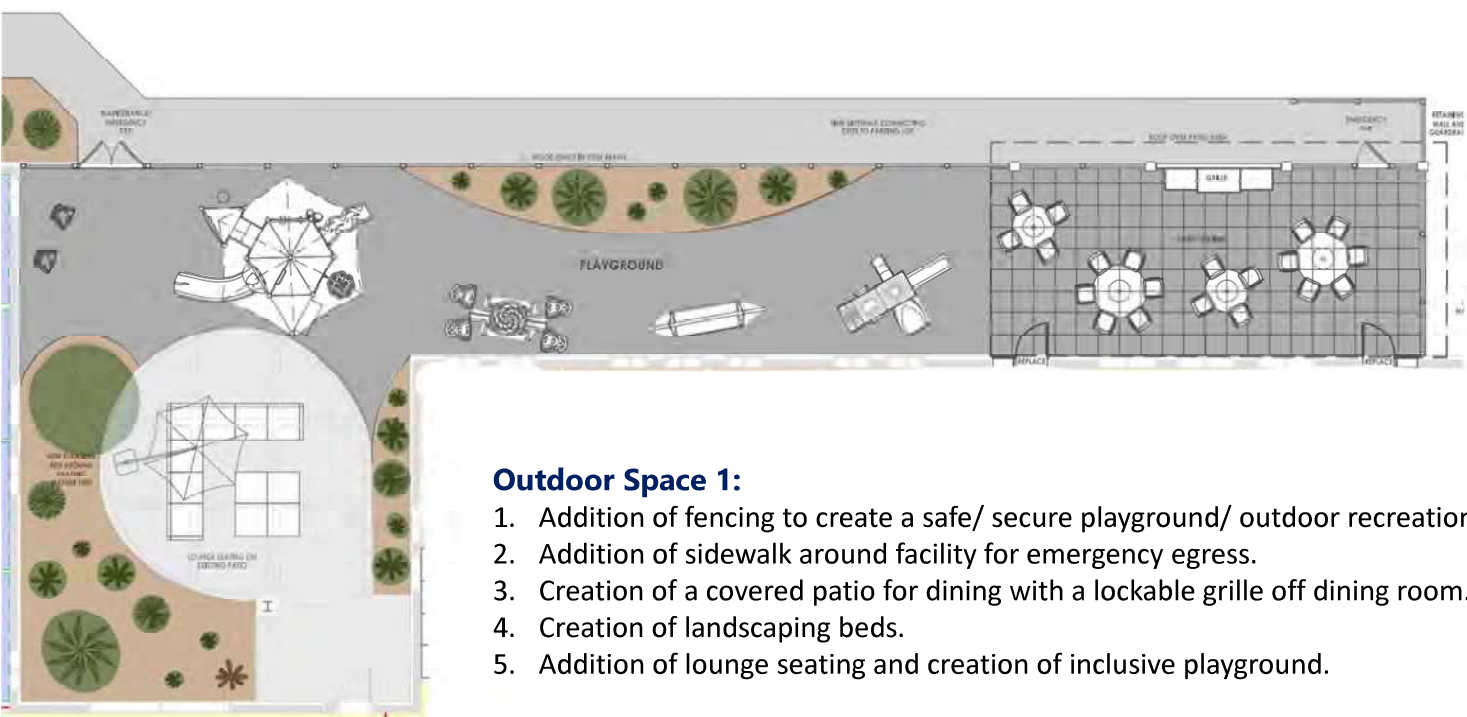


Programming Wing

1. Renovation of existing lobby with smaller desk, small meeting space and Kid's Corner.
2. Renovation of existing group rooms including replacement of operable partitions
3. Creation of a CPS visitation room.
4. Renovations to the existing office suite to include a break area and a Parent Coaching Room.
5. Renovations to the existing dining room to include a Kid's Corner and new serving area.
6. Evaluation of existing commercial kitchen equipment to determine if any pieces need replacement or additional pieces will be required for VOA menu.



Full Floor Plan

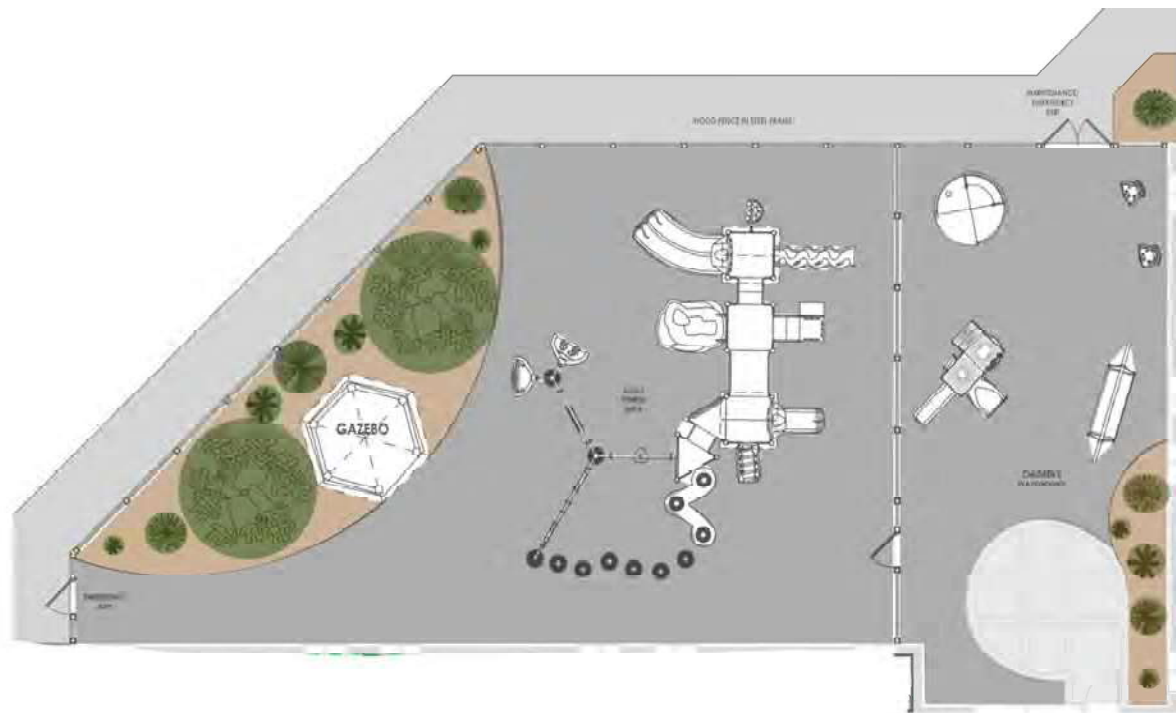


Outdoor Space 1:

1. Addition of fencing to create a safe/ secure playground/ outdoor recreation area.
2. Addition of sidewalk around facility for emergency egress.
3. Creation of a covered patio for dining with a lockable grille off dining room.
4. Creation of landscaping beds.
5. Addition of lounge seating and creation of inclusive playground.

Outdoor Space 2:

1. Addition of fencing to create a safe/ secure playground/ outdoor recreation area.
2. Addition of sidewalk around facility for emergency egress.
3. Creation of gazebo area and landscaping beds.
4. Creation of an adult outdoor fitness area and an inclusive children's play area.



Questions?

For those interested in walking through the facility,
please meet me at the front door at 2:00 pm.



Addendum #6 - (Bid 20271) Bidder Question
Renovations for the Women with Children Recovery Program at Gibson Park

1. For clarification on furniture procurement, will the Interior Design services include obtaining three bids from furniture vendors? The Interior Designer will work with Guilford County Facilities and Guilford County Purchasing to determine the most efficient method of procurement. Interior Design Services may include bidding if specialty items are selected that are not available through the State of North Carolina Statewide Term Contract, or a different applicable purchasing cooperative such as TIPS.



June 12, 2025

Mrs. Tari Maynor-Brady (tmaynor@guilfordcountync.gov)
Capital Projects Manager
Guilford County

RE: **PROFESSIONAL FEE PROPOSAL**
Guilford County – Women with Children Recovery Program
5209 West Wendover Avenue
High Point, NC 27265

Dear Mrs. Maynor-Brady:

On behalf of CPL, we are pleased to submit the following design fee proposal for the architectural and engineering services necessary for the Guilford County Women with Children Recovery Program (the project) to be located at 5209 West Wendover Avenue, High Point, NC 27265.

PROJECT UNDERSTANDING

Guilford County wishes to contract with CPL for professional design services including construction documentation and construction administration for the renovation of an existing 29,967 square foot facility, originally used as a Substance Abuse Center; completed in 1995. CPL will work closely with Guilford County and Volunteers of America to further the design based on initial programming and space layout previously completed. Project scope includes Architecture, Interior Design, Mechanical / Electrical / Plumbing / Fire Protection / Structural, Landscape Architecture, Security Design, and Civil Engineering. Project scope includes:

1. *Internal space configuration requiring modifications of walls to accommodate the use of the space by women in recovery and their children.*
2. *External upgrades for exterior fitness areas including playground equipment, covered patios, sidewalk improvements, landscaping improvements, parking lot lighting, and fencing.*
3. *Evaluation of existing windows for operability, and replacements as necessary.*
4. *Interior finish repairs and upgrades (cove base, floor tiles, ceilings, paint, signage, etc.)*
5. *Evaluation of existing hardware for the new operational use and installation of door access control system.*
7. *Renovation of kitchen serving area as well as evaluation of the remainder of the kitchen equipment to determine what equipment needs replacement.*
8. *New FF&E to meet DHHS requirements which does not include anti-ligature provisions.*
9. *Evaluate compliance with energy codes to meet NC Building code requirements*
10. *Replacement of fire alarm system.*
11. *Replacement of the existing emergency back-up generator.*



12. Installation of necessary low voltage wiring to support alarms, cameras and IT infrastructure

13. Replacement of existing interior and exterior lighting with potential for replacement or upgrades.

14. Replacement of existing electrical outlets with child-proof outlets.

15. Evaluation/ replacement of plumbing fixtures.

16. Reconfiguration of existing recently replaced HVAC components.

SCOPE OF SERVICES

Notes:

1. Landscape/Playground Design Scope detailed in Exhibit B, attached.
2. Civil Engineering Scope detailed in Exhibit D, attached.
3. Security Consultant will design, specify and propose security locations and equipment.
4. Door hardware consultant will be retained by CPL and is included in the fee listed in this proposal.
5. Cost Estimating Scope will include providing good, better, best options for materials; as well as providing cost estimates for add and deduct-alternates as specified by the design teams.

Task I – Community Engagement & Schematic Design

- There is assumed to be two (2) stakeholder or advisory group meetings
 - (1) meeting at beginning of schematic design phase with VOA and NIATx to review results of additional community engagement work that has been done & verify current schematic plans
 - (1) meeting at beginning of schematic design phase with VOA and NIATx to review results of additional community engagement work that has been done & verify current schematic plans
- All sessions are assumed to be held in person and will be held concurrent to the Schematic Design validation.
- Final Schematic Design shall take into account the plan that has been developed by Guilford County and VoA. CPL does not anticipate large changes to the existing plan.
- Two (2) design meetings during Schematic Design Phase:
 - One (1) visioning meeting to review project goals, program, and validate existing plan.
 - One (1) design meetings to review Schematic Design and concepts.
- One (1) presentation to board subcommittee for the project at the end of the schematic design phase to share information on final schematics and highlight any variations from preliminary schematics presented by Guilford County team
- At this point the County will finalize project budget/construction budget for the project.



DELIVERABLES

- One (1) final Schematic Design
- One (1) Concept Board
- Schematic Design Opinion of Probable Cost
- Two (2) final high-resolution renderings of Schematic Design
- One (1) Schematic Site Plan
- Code Review, including DHSR/FGI
- DHSR Submissions, as required

Task II – Design Development

- Development of site plan and exterior features (playgrounds, landscape architecture).
- Development of design and concept from Schematic Design Phase.
- Three (3) design meetings to review MEP systems, security systems, equipment and furniture selection/placement, finishes.
- One (1) Presentation to stakeholder group or at a community-based event for information sharing purposes to keep stakeholders engaged with the process
- Owner review of engineering approach, selected materials.

DELIVERABLES

- Design Development Review Set for Owner.
- Finish Boards and samples for Owner review
- Design Development Opinion of Probable Cost.
- Code Review, including DHSR/FGI
- DHSR Submissions, as required

Task III – Construction Documentation

- Prepare final design and project specifications.
- Prepare security, data, telecom drawings with input from the Owner.
- Prepare front end bidding documents and review with Owner.
- Owner review meeting with 90% Construction Documents.
- Owner review period.
- Coordinate review/approval with City/County for permitting.

DELIVERABLES

- CPL will provide Construction Documentation in compliance with the North Carolina State Building Code (2018 edition) and other applicable standards. We will include at a minimum:
 - Code Review, including DHSR/FGI
 - DHSR Submissions, as required
 - Civil Plans
 - Landscape Plans
 - Life Safety Plans and Documentation
 - Floor Plan
 - Reflected Ceiling Plan



- Interior Finishes / Furniture Plan
- MEP Plans and Details
- Project Manual

Task IV – Construction Procurement Phase Services

We will submit the necessary documents to the Local and State authorities having jurisdiction, including DHSR. All permits and approvals for the project will be paid for and secured by others. CPL will answer Requests for Information (RFIs), provide clarifications, issue addenda as required, and conduct a pre-bid meeting and bid opening.

Task V – Construction Phase Services

CPL will attend one (1) pre-construction meeting and a total of twenty-four (24) biweekly site visits during construction (2 per month for 12 months) with a field report written for each visit. CPL will also provide construction administration services consisting of the review of submittals, shop drawings, certification of monthly pay requests, responding to RFIs that arise during the course of construction and closeout documentation.

SCHEDULE

CPL understands Guilford County has created a project schedule, Exhibit A (attached). CPL agrees to provide services to the Client in the most practical manner to uphold this schedule.

CLIENT RESPONSIBILITIES

The Client shall appoint an “Owner’s Representative” to act as the point of contact for CPL. It shall be the responsibility of the client to provide the following:

- Access to the project site during design.
- Reasonable advance notice of scheduled meetings.
- Decisions on critical issues in a timely manner.
- Payment of all invoices in accordance with this agreement.
- Furniture, fixtures and equipment approvals/selections in a timely manner for needed coordination with the design.

ASSUMPTIONS

1. CPL’s basic telecom/data services include: identifying locations for security, data, and telecom devices; and including pathways (conduit, blank boxes) on the Construction Documents. Wiring and device specifications will be done by Nv5, IT/Security consultant.
2. CPL’s basic AV services include: identifying locations for AV devices and type of device; and including pathways (conduit, blank boxes) on the Construction Documents. Wiring and device specifications will be by others.
3. Security devices will be proposed and specified by Nv5.
4. Grant applications are not included in base scope but can be provided as an additional service.
5. Department of Insurance review is not anticipated.
6. Construction budget is assumed to be \$5,000,000.00 - \$6,000,000.00. Budget including soft costs, design fees, furniture, contingency, etc. is assumed to be \$7,000,000.00 - \$10,000,000.00.



7. Delivery method is assumed to be Design, Bid, Build.

COMPENSATION

CPL agrees to provide the professional design services listed in the Scope of Services. Our fee proposal is based upon work-effort projections and applicable billing rates for the scope of work anticipated for this project. We propose to provide the scope of services for a not-to-exceed base fee of \$528,210 including standard reimbursable expenses.

FEE SCHEDULE BY PHASE	FEE
Task I – Community Engagement & Schematic Design	\$52,560
Task II – Design Development	\$185,000
Task III – Construction Documentation	\$185,000
Task IV – Construction Services Procurement	\$26,410
Task V – Construction Administration	\$79,240
Permit Review Fee Allowance (NTE, billed as paid)	\$25,000
Total Fee	\$553,210

FEE SCHEDULE BY CONSULTANT	FEE	MWBE % of Total Fee
CPL - Architecture	\$214,500	-
CPL – M/E/P Engineering	\$144,380	-
Lynch Mykins/IMEG – Structural Engineering	\$13,400	-
Nv5 – Security Design	\$17,000	-
Revington Reaves – Landscape Architecture (MWBE)	\$52,720	10%
Westcott Small – Civil Engineering (MWBE)	\$68,210	13%
Bree & Associates – Cost Estimating (MWBE)	\$18,000	3.5%
Permit Review Fee Allowance (NTE, billed as paid)	\$25,000	-
Total Fee	\$553,210	26.5%

ALLOWANCES

CPL has agreed to provide an allowance of \$25,000 for initial permit review fees, such as the NCDEQ erosion control, TRC review fee, as required. It is expected that CPL will be reimbursed by the owner for these fees via monthly invoicing.



ADDITIONAL SERVICES

Any items not contained in our Scope of Services or contrary to the assumptions listed above will be deemed additional services. If requested by the Client, additional services will be provided on an hourly basis at our standard hourly billing rates, or as a fixed fee mutually agreed to in advance by both parties.

Furniture, Fixtures, Equipment and Signage Selection and Specification -
\$24,000.00

CPL will coordinate all furniture, fixtures and equipment selection and specification as well as all signage design and specification. CPL can select from state contract options or as otherwise preferred. Procurement will be done by the County.

CONCLUSION

This document serves as a design fee proposal. The proposed fee is valid for 90 days from the date of this proposal. If these terms are acceptable, we will proceed with negotiating a Standard Design Contract.

We look forward to working with you on the successful completion of this project.

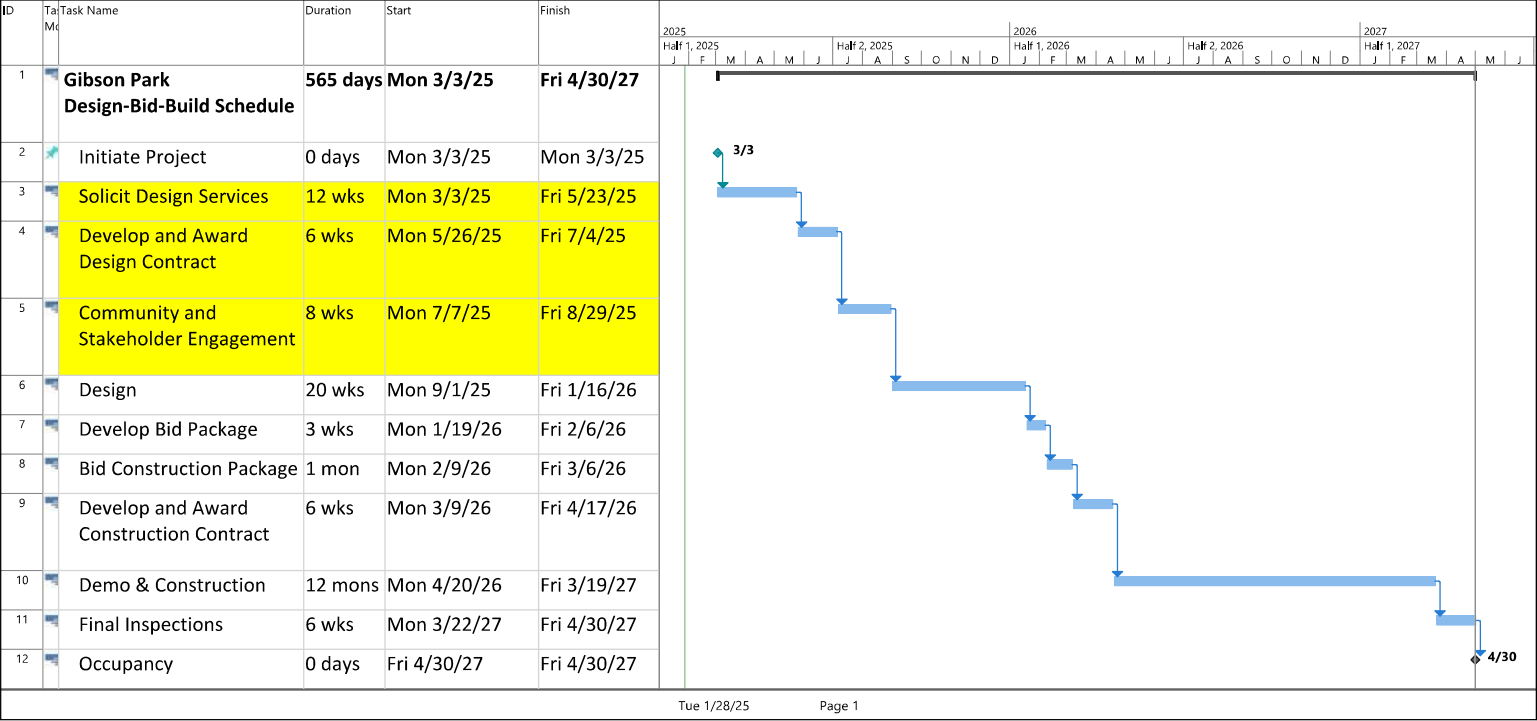
Sincerely,

CPL

Rachel F. Nilson, AIA
Principal-in-Charge

cc: Ms. Maggie Gordon, RID (mgordon@cplteam.com)

EXHIBIT A



CPL and their consultants will work with their consultants and Guilford County to validate and/or improve this schedule.

22 May 2025

Maggie Gordon, Principal
CPL
3600 South Blvd
Station 4, Suite 500
Charlotte, NC 28209

Re: Renovations for the Women with Children Recovery Program at Gibson Park, Landscape Design Services

Dear Maggie,

Revington Reaves is pleased to present this proposal to CPL to provide landscape architectural services for the Renovations for the Women with Children Recovery Program at Gibson Park project. This facility is located at 5209 West Wendover Avenue, High Point, NC 27265.

The existing facility was built in 1995 and has served as a substance abuse center. The proposed renovations will convert this building and the grounds to house a Women with Children Recovery Program. The renovated facility will provide support, treatment, and resources to people engaging in recovery services by increasing access to mid- and long-term residential recovery services. The proposed services will include 24-hour residential substance use recovery specifically tailored for pregnant women and women with dependent children.

A conceptual plan has previously been completed showing exterior elements such as playgrounds for varying ages, adult fitness areas, a covered shelter, outdoor lounge and gathering spaces, a covered dining patio, and plantings.

Revington Reaves will provide landscape design services that focus on the further development of the conceptual plan to create exterior spaces for recovery, play and fitness, collaborating, socializing, and community building. The design work will include playgrounds and fitness areas for varying age groups, community gathering spaces, contemplative spaces, close integration with proposed architectural elements, circulation and connectivity, and code compliant landscape elements.

Included within this proposal are:

- A. SCOPE OF SERVICES
- B. ESTIMATED FEES
- C. EXCLUSIONS
- D. TERMS & CONDITIONS

A. SCOPE OF SERVICES

TASK 1: SCHEMATIC DESIGN (per the schedule)

SCOPE: Revington Reaves will assist in the schematic design of the Women with Children Recovery Program Facility. This phase will build off of the previously completed conceptual design provided by Guilford County. Design elements will be further informed by site analysis, confirmed programming requirements, and code requirements. It is assumed that playgrounds must be compliant with the General Statutes listed in Chapter 3 of the Division of Child-Development, Child-Care Center Handbook.

SCOPE

- Develop site plan to include pedestrian circulation and connections, landscape code requirements, fencing, playgrounds, and fitness and gathering areas.
- Develop SD level planting plan illustrating code required plantings, ornamental plantings, existing tree and shrub preservation, planting beds and lawn areas. Species selection is excluded in this phase.

DELIVERABLES

1. Illustrative site plan.
2. A SD level materials plan.
3. A SD level planting plan.
4. Coordinate and comment on the following:
 - a. Landscape code requirements
 - b. Grading and drainage
 - c. Costing

MEETINGS

- Coordination meetings with CPL as needed.
- Attendance in presentations to Guilford County as requested by CPL.

TASK 2: DESIGN DEVELOPMENT (per the schedule)

SCOPE: Revington Reaves will collaborate with the design team to refine the SD site plan. Design efforts will focus on exterior site elements such as playgrounds, fitness areas, spaces for gathering and seating, an outdoor dining patio, circulation and connections, overall site plantings, and code compliance.

DELIVERABLES:

1. General Notes and Legends.
2. Reference Plan showing full scope of landscape improvements.
3. Site Materials Plan to include:
 - a. All exterior landscape elements such as playgrounds, hardscapes, stairs, handrails, walls, specialty seating, fencing, etc. *RR to coordinate any required engineering of select elements with team Structural Engineer.*
 - b. Site furnishings to include trash receptacles, exterior seating and tables, etc.
4. Enlargement Plans of select areas (playgrounds, seating areas, etc).
5. Relevant site details (may include sections, elevations).
6. Planting Plan showing code required and ornamental planting plan.
7. Plant Schedule noting code required and ornamental plantings.
8. Planting details.
9. Relevant specifications.
10. Coordinate and comment on the following:
 - d. Landscape code requirements
 - e. Grading and drainage
 - f. Structural engineering of site elements
 - g. Site lighting
 - h. Cost estimating

MEETINGS.

- Coordination meetings with Design Team as needed.
- Design review meetings with Guilford County as requested by CPL.

TASK 3: CONSTRUCTION DOCUMENTATION (per the schedule)

SCOPE: Revington Reaves will continue to refine the approved DD site plan. There will be a focus on collaboration with the design team to ensure design continuity with other disciplines. The scope of refinements will include the exterior site elements such as playgrounds, fitness areas, spaces for gathering and seating, an outdoor dining patio, circulation and connections, overall site plantings, and code compliance.

DELIVERABLES:

1. General Notes and Legends.
2. Reference Plan showing full scope of landscape improvements.
3. Site Materials Plan to include:
 - a. All exterior landscape elements such as playgrounds, hardscapes, stairs, handrails, walls, specialty seating, fencing, etc. *RR to coordinate any required engineering of select elements with team Structural Engineer.*
 - b. Site furnishings to include trash receptacles, exterior seating and tables, etc.
4. Enlargement Plans of select areas (playgrounds, seating areas, etc).
5. Site Layout Plan of select landscape areas (playgrounds, seating areas, etc).
6. Relevant site details (may include sections, elevations).
7. Irrigation zone plan and performance specification if required.
8. Planting Plan showing code required and ornamental planting plan.
9. Plant schedule noting code required and ornamental plantings.
10. Planting details.
11. Relevant specifications.
12. Coordinate and comment on the following:
 - a. Landscape code requirements
 - b. Grading and drainage
 - c. Structural engineering of site elements
 - d. Site lighting
 - e. Cost estimating

MEETINGS

- Coordination meetings with Design Team as needed.
- Design review meetings with Guilford County as requested by CPL.

TASK 4: CONSTRUCTION SERVICES PROCUREMENT (schedule TBD)

SCOPE: Revington Reaves will assist during the permitting and bidding phase by preparing final bid set drawings, respond to relevant RFI's, and issue any needed addenda.

DELIVERABLES:

1. Signed and sealed bid set package to include all drawings
2. Issue final project specifications relevant to landscape scope of work
3. Issue Addenda and field RFI's as needed

MEETINGS:

- Coordination meetings with Design Team as needed.

TASK 5: CONSTRUCTION PHASE SERVICES (schedule TBD)

SCOPE: Revington | Reaves will assist in construction administration, and project closeout.

SCOPE:

- Review proposed construction schedule.
- Review applicable submittals, shop-drawings, schedule of values, and pay requests.
- Participate in Pre-Construction meeting for landscape scope of work.
- Participate in site visits during construction.
- Participate in OAC meetings relevant to landscape scope of work, or as requested by CPL.
- Perform punch-list and follow up visits for project closeout.

DELIVERABLES:

1. Approved construction
2. Preconstruction meeting notes contributions
3. Field reports from each site visit
4. OAC meeting notes contributions
5. Project punchlists

MEETINGS

- (1) Pre-construction meeting with general contractor.
- Site visits during construction (assuming 7).
- OAC meetings (assuming 5).
- (3) Punchlist visits.
- (1) Closeout visit.

TASK 6: EXTERIOR RENDERINGS (additional service)

Revington Reaves will develop a model and 3D renderings of the exterior spaces – playgrounds, fitness areas, dining patio, etc. Ideally, CPL would provide Revington Reaves with an architectural sketchup model for collaboration and graphics production.

SCOPE

- Create scaled, digital model of patio spaces.
- Develop 3d renderings that illustrate the patio schematic design.

DELIVERABLES

1. Up to three (3) 3d renderings for each patio.
2. A supportive digital presentation summarizing the above deliverables.

MEETINGS

- (1) Included in SD or DD review meeting.

B. ESTIMATED FEES

TASK 1	Schematic Design	\$ 6,675.00
TASK 2	Design Development	\$11,125.00
TASK 3	Construction Documentation	\$15,575.00
TASK 4	Bidding	\$ 2,225.00
TASK 5	Construction Phase Services	\$ 8,900.00
	TOTAL	\$44,500.00
TASK 6	Exterior Renderings (add. service)	\$ 8,220.00
	TOTAL	\$52,720.00

PAYMENT TERMS

Invoices will be prepared monthly. Payment is due within 30 days after the invoice is rendered.

C. EXCLUSIONS

1. Site surveying
2. Translation services
3. Community engagement
4. Site lighting design
5. Design of water features
6. Detailed irrigation design
7. Signage
8. Cost estimating
9. Sketch plan review
10. TRC review and permitting
11. Subsurface utility engineering
12. Grading and drainage design
13. Structural engineering design of code and non-code required landscape elements such as footing sizing and reinforcement, site walls, concrete reinforcement, etc.
14. Electrical engineering design, including photometrics.
15. Stormwater control measure design
16. Erosion Control, Building, NCDEQ Permitting
17. Downstream stormwater analysis and flood study
18. Utility design: communications, gas, etc
19. Prints
20. Construction stakeout, plats
21. As-built drawings/certifications
22. Traffic impact analysis
23. Construction observation/administration beyond what is listed in above scope
24. Geotechnical/environmental engineering/testing
25. Sanitary sewer forces main and/or pumps station, septic system design
26. Attendance of P&Z, town council or other public meetings
27. Zoning fees, review fees, inspection fees, impact fees, meter fees, capacity use fees, bonds, etc.
28. Rezoning & Special Use Permit, Applications, etc.

D. TERMS AND CONDITIONS

- Services and fees for the completion of additional work outside of the aforementioned scope are not included in this proposal. Should the Client request further design and contract administration, this work will fall under a different contract.
- This estimate assumes Revington Reaves has access to a scaled plan containing accurate site information, including the property lines, proposed buildings, pavements and underground utilities.
- Revington Reaves shall have the right to include representations of the design of the Project, including photographs of the exterior and interior, among Revington Reaves' promotional and professional materials. Revington Reaves' materials shall not include Client's confidential or proprietary information. Client shall provide professional credit for Revington Reaves in the promotional materials for the Project, if such materials utilize Revington Reaves' name.
- Laws, Rules and Regulations: Revington Reaves will use its best professional efforts to identify laws, rules and regulations which apply to the Project, to interpret the same in a reasonable manner, to seek the advice of governmental officials and/or legal counsel when questions of interpretation and/or applicability arise, and to produce reports, plans, and other documents which are consistent therewith. At the Client's request, Revington Reaves will furnish certificates to lenders or others regarding compliance with laws, rules and regulations provided that such certificate is consistent with the above and that the requested form of such certificate is furnished to Revington Reaves at no less than five business days before the date on which it is required by the Client.
- Liability: Revington Reaves shall be liable to Client for negligent errors or omissions in the provision of services, and for other breaches by Revington Reaves of the Agreement, provided that the aggregate amount of such liability shall in no event exceed the amount of any insurance coverage available under Revington Reaves' professional liability insurance policy at the time such claim is satisfied. Neither party shall be liable to the other for any indirect, special, or consequential damages.
- Invoices will be prepared monthly. Payment is due within fifteen (15) days after the invoice is rendered. Payment not made within fifteen (15) days from the end of the calendar month to which the invoice applies will bear interest from the end of such month at the rate of one-and-one-half percent (1.5%) per month until paid. Failure of the Client to make payments when due shall be cause for suspension of services. Revington Reaves shall be entitled to reimbursement of all costs actually incurred by Revington Reaves in collecting overdue accounts under this contract including, without limitation, legal fees.
- The Client undertakes to insure and keep insured the site against injury to third parties and contractors.

AGREED AND ACCEPTED

If this proposal and associated terms and conditions are acceptable, please sign in the space provided below and return one copy of the document to Revington Reaves. If you should have any questions or comments regarding this proposal, please do hesitate to contact me at 978-793-2297.

Sincerely,

Anna Reaves
Principal

Authorized signature for
CPL

Date

Authorized signature for
Revington Reaves Landscape Architecture and Planning, PLLC

Date



May 21, 2025

Maggie Gordon
CPL
3600 South Blvd
Station 4, Suite 500
Charlotte, NC 28209

Re: Guilford County Women with Children Recovery Program at Gibson Park
LM Project No: LM25.078

Dear Maggie,

We are pleased to offer the following proposal for structural engineering services in connection with the planned renovations for the Women with Children Recovery Program at Gibson Park in Greensboro, North Carolina.

PROJECT SCOPE:

This proposal is based on your recent email which indicated that the current structural scope for this project would be the design of a structure to cover an approximately 1,000 SF patio area.

This project will not be pursuing any sustainability goals for the patio cover structure such as LEED, Green Globes, Well, etc.

ASSUMPTIONS:

- A project specific geotechnical report will be provided prior to the start of design.
- Foundations are assumed to consist of shallow foundations consisting of strip, spread, or turned down concrete footings.
- Seismic site class is assumed to be D or better which will be confirmed in the project geotechnical report.
- Due to anticipated grading, building foundation retaining walls are not required.
- It is our understanding that the structure is not located in a flood hazard area. Scope excludes design of any flood protective works or design for flood induced loading per ASCE 24.
- Lynch Mykins will provide a Level of Development 300 BIM model as described in 2015 BimForum Level of Development Specification. In this level of development, only primary structural elements will be provided in the model. Secondary elements such as braces, kickers, joist bridging, base plates, gusset plates, connection angles etc. will not be modeled. Also,

Raleigh HQ
301 N. West Street
Suite 105
Raleigh, NC
27603
P: 919.782.1833

Charlotte
1701 N. Graham Street
Suite 103
Charlotte, NC
28206
P: 919.782.1833

Greensboro
111 West Lewis Street
Suite 202
Greensboro, NC
27406
P: 336.339.1202

Norfolk
400 Granby Street
Suite 401
Norfolk, VA
23510
P: 757.671.8626

stair stringers, treads, risers and stair landing framing will not be modeled. All elements whose final design will be provided by others are modeled for graphical purposes only. These include, but are not limited to, steel joists, prefabricated wood trusses, precast double tees etc. Critical interactions with these elements will not be possible until they are designed during the construction phase.

- It is anticipated that the structural BIM model will not be started until the floor plan has been solidified, and no major adjustments to the column grid will be required. We anticipate this to be at the start of the Design Development phase.
- We understand the total design phase will last no longer than 6 months from the start of our involvement to issuance of the construction documents.
- During this time, we anticipate attending up to 2 meetings a month.

DESIGN PHASE DELIVERABLES:

- We do not anticipate providing schematic design services for the structure. Our design involvement will begin at the Design Development phase.
- Design Development will include drawings developed to approximately 35% completion, including general notes, plans showing primary structural elements with dimensions, elevations of lateral resistance elements if applicable, and representative typical details and outline specifications.
- Construction Documents will include all necessary information required to permit and construct the structure including all notes, plans, details, elevations, and sections and full specifications for primary structural elements.

CONSTRUCTION ADMINISTRATION PHASE SERVICES:

- Maximum of 2 reviews of shop drawings and submittals for items specified in the structural drawings and specifications.
- RFI responses to structural items.
- Site visits during construction are not included in the proposed fee, but will be provided upon written request and billed at our standard hourly rates, plus expenses or a negotiated lump sum.
- Due to the limited structural scope, we do not anticipate attending monthly OAC meetings.
- Attendance at preconstruction meetings is not anticipated for this project.

EXCLUSIONS:

- Construction cost estimating
- Design of any structure not described in the Project Scope.
- Any services for Special Inspections except preparation of the Statement and Schedule of Special Inspections. *Special Inspections can be provided by Lynch Mykins Structural Engineers as an additional service, if requested.*

- Demolition drawings
- Any drawings for multiple or early structural packages, unless specifically included above.
- Record/As-built drawings
- Structural design and construction documents for the following anticipated delegated design items:
 - Structural steel connections
 - Pre-engineered canopies
 - Curtainwall or storefront glazing systems
 - Temporary shoring or excavation support systems
 - Prefabricated wood or metal trusses

For these items, Lynch Mykins will review or provide structural design criteria and review the structural portion of the shop drawings and structural calculations.

COMPENSATION:

Based on the stipulations in this letter, Basic Compensation shall be the lump sum amounts as summarized below:

PHASE	FEE
DESIGN SERVICES	\$11,000
CONSTRUCTION ADMINISTRATION	\$ 2,400
TOTAL	\$13,400

Additional Services shall be charged at our standard hourly rates or an agreed upon lump sum. Additional services shall include any significant redesign for the primary building structure after completion of the Design Development phase.

Reimbursable Expenses, including travel and per diem as described in the attached Terms and Conditions, shall be a multiple of 1.1 times the expenses incurred by the Engineer.

Billings will be prepared and submitted monthly for services accomplished. Bills are due when rendered and shall be considered past due after 30 days. Past due amounts are subject to service charges of 1% per month, beginning on the past due date. In the event all or any portion of an account remains unpaid 90 days after billing, the Client shall pay the cost of collection, including reasonable attorney’s fees.

Unless amended or changed in writing by another signed agreement, Terms and Conditions shall be as provided in the attached “Lynch Mykins Structural Engineers Terms and Conditions”.

This proposal will remain valid for 90 days from the date of this letter. If this proposal is not executed by that date, we reserve the right to adjust our fees.

We look forward to working with you on this project. If this proposal is acceptable, please return a signed copy to this office.

Sincerely,
LYNCH MYKINS STRUCTURAL ENGINEERS, PC

Scott M Francis, PE
VP of Operations

Enclosure: Lynch Mykins Structural Engineers Terms and Conditions

Copy To:

CLIENT/CONTRACTEE

SIGNATURE OF ACCEPTANCE:

Printed Name: _____ Date: _____

Title: _____



Lynch Mykins Structural Engineers

Terms and Conditions

Section 1 - General

1.1 This Agreement

- 1.1.1 These Terms and Conditions, along with the Letter Agreement form the Agreement as if they were part of one and the same document.
- 1.1.2 The Letter Agreement may limit or negate the applicability of these Terms and Conditions. Such limitation shall take precedence over the provisions of this Exhibit.
- 1.1.3 If a Prime Design Professional is also engaged by the Client to participate in this project, then that Prime Design Professional shall be responsible for determining and interpreting the needs of the Client, and for coordinating the work of the SER and other members of the design team.

1.2 General Obligations of the SER and the Client

- 1.2.1 The SER shall perform those professional structural engineering services as specified in the letter agreement and detailed in these Terms and Conditions. In rendering these services, the SER shall apply the skill and care ordinarily exercised by structural engineers at the time and place the services are rendered.
- 1.2.2 The Client shall verify, in writing, that the contemplated project will be financed adequately, including provisions for contingencies, to accomplish the stated and desired goals and commitments.
- 1.2.3 The Client shall provide all criteria and full information with regard to his or her requirements for the Project. This shall include, but not be limited to, review and approval of design issues in the schematic design phase, design development phase, and contract documents phase. These approvals shall include a written authorization to proceed to the next phase.
- 1.2.4 The SER shall recommend that the Client shall provide those geotechnical investigations, property surveys, reports and other data necessary for performance of the SER's services.
- 1.2.5 The Client and SER shall each designate, in writing, a person to act with authority on behalf of each with respect to all aspects of the Project.



- 1.2.6 The SER shall submit, or coordinate with the Prime Design Professional to submit a schedule for the performance of the SER's services to the Client. This schedule shall include requirements for information to be furnished by the Client.
- 1.2.7 The SER shall be entitled to rely on the accuracy and completeness of all information supplied by the Client.
- 1.2.8 The Client shall coordinate, or arrange for the Prime Design Professional to coordinate, the services of the design team to minimize conflicts or misunderstandings.

1.3 Definitions

- 1.3.1 Construction Cost is the amount paid by Owner for construction of the building(s) and everything within five feet of the building perimeter(s), excluding furniture, fixtures, and equipment.
- 1.3.2 Fast Track Projects are projects in which any portion of the contract documents are released for pricing/bid/fabrication, or are submitted for building permit, prior to such issuance of full design team documents.
- 1.3.3 Multiple Bid Packages are bid documents which are submitted for phased construction of portions of the project under separate trade contracts.
- 1.3.4 Non-Structural Elements are elements of a building that are not Primary or Secondary Structural Elements. Items in this category could include curtain walls and cladding, non-bearing partitions, stair railings, etc.
- 1.3.5 Pre-Engineered Structural Elements are structural elements which are specified by the SER but may be designed by a Specialty Engineer. These elements are normally fabricated off-site, may require specialized equipment not usually available at the job site or may require a proprietary process. The SER shall specify the design criteria, including the incorporation of the Pre-Engineered Structural Elements into the structure. Examples of Pre-Engineered Structural Elements may include but are not limited to:
 - a. Open web steel joists and joist girders.
 - b. Wood trusses.
 - c. Combination wood and metal, and plywood joists.
 - d. Precast concrete elements.
 - e. Prefabricated wood or metal buildings.
 - f. Tilt-up concrete panel reinforcement and hardware required for lifting to position.
- 1.3.6 Primary Structural System is the completed combination of elements which serve to support the building's self weight, the applicable live load which is based upon the

occupancy and use of the spaces, and the environmental loads such as wind, seismic, and thermal. Curtain wall members, non-load bearing walls and exterior facade are examples of items which are not part of the Primary Structural System.

- 1.3.7 Prime Design Professional is the leader of the design team charged with the design of a facility, either an architect or an engineer. The Prime Design Professional is responsible for determining and interpreting the needs of the Client and for coordinating the work of the other members of the design team.
- 1.3.8 Reimbursable Expenses are expenses incurred directly or indirectly in connection with the project such as, but not limited to, transportation, meals or lodging for travel, long distance telephone calls and facsimile transmissions, overnight deliveries, courier services, professional service sales taxes, the cost of reproductions beyond those normally required for coordination and information purposes, and the cost of outside professional services.
- 1.3.9 Secondary Structural Elements are elements that are structurally significant for the function they serve but do not contribute to the strength or stability of the Primary Structure. Examples may include but are not limited to: support beams above the primary roof structure which carry a chiller, stairs, elevator support rails and beams, retaining walls independent of the primary building, and flagpole or light pole foundations.
- 1.3.10 Special Inspection is inspection performed by a qualified person, approved by the building official, for the types of work requiring inspection per the governing codes and contract documents.
- 1.3.11 Specialty Engineer is a licensed professional engineer, not the SER, who is legally responsible for sealing plans and designs for Pre-Engineered Structural Elements which are necessary for the structure to be completed. The Specialty Engineer is usually retained by a supplier or subcontractor who is responsible for the design, fabrication and (sometimes) installation of engineered elements or by the General Contractor or Subcontractor(s) responsible for construction related services.
- 1.3.12 Structural Engineer of Record (SER) is the Structural Engineer who is legally eligible to seal the Structural Documents for a Building Project. This seal acknowledges that he or she has performed or supervised the analysis, design, and document preparation for the building structure and has knowledge of the requirements for the load carrying structural system. The SER is responsible for the design of the Primary Structural System.

Section 2 - Basic Services

2.1 General - The Basic Services of the SER shall include the following:

- 2.1.1 Analysis, design and preparation of drawings and specifications for the Primary Structural System.
- 2.1.2 Provision of structural criteria for Pre-Engineered Structural Elements, if required. This may include the type of element, position within the structure, connection to the Primary Structural System, the loading and deflection criteria, and the required shop drawing and calculation submittal requirements.
- 2.1.3 Review of the effect of Secondary and Non-Structural Elements on the Primary Structural System and design the Primary Structural System to accept and support such items. The Contract Documents shall provide information regarding the supporting capability and physical attachment limitations of the Primary Structural System. Where secondary or non-structural elements are to be reviewed by the SER, the SER shall be entitled to rely on the accuracy and completeness of information furnished by the Client and/or Prime Design Professional.
- 2.1.4 Review of specified submittals pertaining to items designed by the SER after these submittals have been approved by others as required by the Contract Documents. Review of submittals shall be for general conformance with the information given and design concept expressed in the Contract Documents.
- 2.1.5 Review of submittals pertaining to Pre-Engineered Structural Elements specified by the SER and designed by Specialty Engineers after these submittals have been approved by others as required by the Contract Documents. Determine whether submittals bear the signature and professional seal of the Specialty Engineer responsible for the design as required by the Contract Documents. Review of Pre-Engineered Structural Elements shall be for type, position, and connection to other elements within the Primary Structural System, and for criteria and loads used for their design.
- 2.1.6 Site visits at intervals appropriate to the stage of construction, as defined by the Agreement, to observe and become generally familiar with the quality and the progress of the construction work relative to the Primary Structural System and preparation of construction observation reports.

Section 3 - Additional Services

3.1 General

- 3.1.1 Services beyond those outlined under Basic Services may be requested. These services may be provided as Additional Services by the SER under terms mutually agreed upon by the Client and the SER.
- 3.1.2 Special Services are services which may or may not be foreseen at the beginning of design, and which are not normally included as Basic Services. Examples include, but are not limited to:

- 1) Services related to Non-Structural Elements and their attachments, including:
 - a. Exterior cladding systems.
 - b. Interior architectural systems.
 - c. Window washing systems and tie downs.
 - d. Antennas and flagpoles.
 - e. Mechanical, electrical and plumbing equipment, storage tanks, cooling towers and underground vaults.
 - f. Mechanisms and guide systems for elevators, escalators, other conveyor systems and associated operating equipment.
 - g. Ladders, handrails, railings, grills, screens and signs.
- 2) Services related to Secondary Structural Elements and their attachments, including:
 - a. Site-work elements not part of the Primary Structural System, such as retaining walls, culverts, bridges, etc; as well as support for landscape furnishing such as flagpoles, lighting poles, benches, fountains, pools, signs, etc.
 - b. Stairs.
- 3) Tenant-related design services.
- 4) Services related to special seismic analyses such as non-linear “pushover” analysis or spectrum or time-history dynamic analysis.
- 5) Services related to special dynamic analyses, such as blast effects or floor - response analysis for foot-fall or vibratory equipment.
- 6) Services related to special wind analyses, such as wind-tunnel tests, etc.
- 7) Services related to “seismic risk” analysis.
- 8) Preparation of demolition documents.
- 9) Field Investigation of existing buildings and structures, including surveys of existing construction.
- 10) Studies of various schemes to accommodate special energy requirements.
- 11) Services connected with the preparation of documents for alternate bids or for segregated agreements for phased or Fast Track construction.
- 12) Continuous and/or detailed inspections of construction.

- 13) Design and field observation of shoring and bracing for excavations and buildings or underpinning of adjacent structures.
- 14) Design and review related to Contractor's construction related equipment, e.g., cranes, hoists, etc.
- 15) Design of swimming pools.
- 16) Design for future expansion.
- 17) Filing application for and obtaining a building permit.
- 18) Preparation of a record set of drawings.
- 19) Preparation of shop or fabrication drawings, such as tilt-up wall panel drawings, reinforcing and structural steel detailing, etc.
- 20) Review and determination of structural fire resistance requirements.

3.1.3 Extra Services are services which arise as a result of unforeseen circumstances during the design or construction process. Examples include, but are not limited to:

- 1) Services resulting from changes in scope or magnitude of the project as described and agreed to under the Basic Services Agreement.
- 2) Services resulting from changes necessary because of a construction cost over-run which is outside the control of the SER.
- 3) Services resulting from revisions which are inconsistent with approvals or instructions previously given by the Client.
- 4) Services resulting from revisions due to the enactment or revision of codes, laws, or regulations subsequent to the execution of this Agreement.
- 5) Services resulting from Change Orders.
- 6) Services resulting from corrections or revisions required because of errors or omissions in construction by the building contractor or in design by consultants other than the SER.
- 7) Providing recommendations regarding claims, disputes, or other matters relating to execution or progress of the work.
- 8) Services resulting from construction procedures over which the SER has no control.

- 9) Services due to extended design or construction time schedules.
- 10) Service in connection with any public hearing, arbitration, or legal proceeding with respect to the project, including assisting in preparation for litigation or arbitration as witnesses or consultants.
- 11) Services resulting from damage as the result of fire, man-made disasters, or acts of God.
- 12) Review and design of alternate or substitute systems.
- 13) Review of additional shop drawing submittals when occasioned by improper or incomplete submittals.
- 14) Attendance at construction progress meetings.
- 15) Overtime work required by the Client.
- 16) Services required to make changes resulting from value-engineering review or project peer review.
- 17) Services rendered for special foundations when the discovery of unexpected soil conditions is made after execution of this Agreement. Examples include, but are not limited to: deep foundations, mat foundations, structural grade slabs, and grade beams.

Section 4 - Fees and Payments

4.1 Fees and Other Compensation

- 4.1.1 Fees for Basic Services, Additional Services and Compensation for Reimbursable Expenses are set forth in the Letter Agreement.

4.2 Payments on Account

- 4.2.1 Invoices for the SER's services shall be submitted, at the SER's option, either upon completion of any phase of service or on a monthly basis. Invoices shall be payable when rendered and shall be considered past due if not paid within 30 days after the invoice date.
- 4.2.2 Retainers, if applicable to this Project, shall be credited to the final invoice(s).
- 4.2.3 Any inquiry or question concerning the substance or content of an invoice shall be made to the SER, in writing, within 10 days of receipt of the invoice. A failure to notify the

SER within this period shall constitute an acknowledgement that the service has been provided.

4.3 Late Payments

- 4.3.1 A service charge will be charged at the rate of 1.5% (18% true annual rate) per month or the maximum allowable by law on the then outstanding balance of past due accounts. In the event any portion of an account remains unpaid 90 days after billing, the Client shall pay all costs of collection, including reasonable attorney's fees. Payments on account will be credited first to any service charge and then to any outstanding balances.
- 4.3.2 In the event that any portion of an account remains unpaid 30 days after billing, the SER may, without waiving any claim or right against the Client, and without liability whatsoever to the Client, suspend or terminate the performance of all services.

Section 5 - Insurance, Indemnifications & Risk Allocation

5.1 Insurance

- 5.1.1 The SER shall secure and endeavor to maintain professional liability insurance, commercial general liability insurance and automobile liability insurance to protect the SER from claims for negligence, bodily injury, death, or property damage which may arise out of the performance of the SER's services under this Agreement, and from claims under Workers' Compensation Laws. The SER shall, if requested in writing, issue certificate to the client confirming such insurance.

5.2 Indemnifications

- 5.2.1 The SER shall indemnify and hold harmless the Client and its personnel from and against any and all claims, damages, losses, and expenses to the extent they are caused by the negligent; acts, errors, or omissions by the SER in performance of its services under this Agreement, subject to the provisions in the paragraph 5.3 on Risk Allocation.
- 5.2.2 The Client shall indemnify and hold harmless the SER and its personnel, from and against and all claims, damages, losses and expenses negligent; acts, errors or omissions arising out of or resulting from the performance of the services, provided that any such claims, damage, loss or expense is caused by the negligent; acts or omissions and/or strict liability of the Client, anyone directly or indirectly employed by the Client (except the SER) or anyone for whose acts any of them may be liable.
- 5.2.3 The Client shall indemnify and hold harmless the SER and all of its personnel, from and against any and all claims, damages, losses and expenses arising from the presence, discharge, release or escape of hazardous waste or other contaminants at the site.

5.3 Risk Allocation

- 5.3.1 In recognition of the relative risks, rewards and benefits of the Project to both the Client and the SER, the risks have been allocated so that the Client agrees that, to the fullest extent permitted by law, the SER's total liability to the Client, for any and all injuries, claims, losses, expenses, damages or claim expenses arising out of this Agreement, from any causes(s), shall not exceed the total amount of \$50,000, or the amount of the SER's fee whichever is greater; or other amount agreed upon. Such causes include, but are not limited to, the SER's negligence, errors, omissions, strict liability, breach of agreement or breach of warranty.

Section 6 - Miscellaneous Provisions

6.1 Reuse of Documents

- 6.1.1 All documents including calculations, computer files, drawings, and specifications prepared by the SER pursuant to this Agreement are instruments of professional service intended for the use in construction of this Project. They are and shall remain the property of the SER. Any reuse without written approval or adaptation by the SER is prohibited. All documents including calculations, computer files, drawings, and specifications prepared by the SER pursuant to this Agreement are instruments of professional service intended for the one-time use in construction of this Project. They are and shall remain the property of the SER. Any reuse without written approval or adaptation by the SER is prohibited.

6.2 Opinion of Probable Construction Cost

- 6.2.1 The SER's opinion of probable construction cost, if rendered as a service under this Agreement, is based on assumed labor costs and approximate quantities of material and equipment, and therefore is of a conditional character. The SER cannot guarantee the cost of work to be performed by others since market or bidding conditions can change at any time and changes in the scope or quality of the Project may affect estimates.

6.3 Hidden Conditions and Hazardous Materials

- 6.3.1 A structural condition is hidden if it is concealed by existing finishes or if it cannot be investigated by reasonable visual observation. If the SER has reason to believe that a structurally deficient condition may exist, the SER shall notify the Client who shall authorize and pay for all costs associated with the investigation of such a condition and, if necessary, all costs necessary to correct said condition. If (1) the Client fails to authorize such investigation or correction after due notification, or (2) the SER has no reason to believe that such a condition exists, the Client is responsible for all risks associated with this condition, and the SER shall not be responsible for the existing condition nor any resulting damages to persons or property. The SER shall have no

responsibility for the discovery, presence, handling, removal, disposal or exposure of persons to hazardous materials of any form.

- 6.3.2 If the project scope requires investigation or verification of existing conditions, the SER is not responsible for removal of finishes to allow such investigation or patching of finishes after such exploratory work is performed. The Owner is responsible for providing selective demolition required for reasonable access to such areas to allow for the required investigation to be performed and providing subsequent patching as may be required.

6.4 Review of Contractor's Work

- 6.4.1 The SER will not supervise, direct, or have control over the Contractor's work. The SER shall not be responsible for the Contractor's means, methods, procedures, techniques, or sequences of construction, nor for safety programs or procedures employed by the Contractor on the job site. The SER shall not be responsible for the Contractor's failure to carry out work in accordance with the Contract Documents.

6.5 Termination, Successors and Assigns

- 6.5.1 This Agreement may be terminated upon 10 days written notice by either party should the other fail to perform its obligations hereunder. In the event of termination, the Client shall pay the SER for all services rendered to the date of termination, all reimbursable expenses, and reasonable termination expenses.
- 6.5.2 The Client and the SER each binds himself or herself, partners, successors, executors, administrators, assigns and legal representatives to the other party of this Agreement and to the partners, successors, executors, administrators, assigns, and legal representatives of such other party in respect to all covenants, agreements, and obligations of this Agreement.
- 6.5.3 Neither the Client nor the SER shall assign, sublet or transfer any rights under or interest in (including but without limitations, monies that may be due or monies that are due) this Agreement, without the written consent of the other, except as stated in the paragraph above, and except to the extent that the effect of this limitation may be restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement. Nothing contained in this paragraph shall prevent the SER from employing such independent consultants, associates and subcontractors as he or she may deem appropriate to assist in the performance of services hereunder.
- 6.5.4 The SER and Client agree that the services performed by the SER pursuant to this Agreement are solely for the benefit of the Client and are not intended by either the SER or the Client to benefit any other person or entity. To the extent that any other

person or entity, including but not limited to the Contractor and/or any of its Subcontractors and other Design Professionals, is benefited by the services performed by the SER pursuant to this Agreement, such benefit is purely incidental and such other person or entity shall not be deemed a third party beneficiary to this Agreement.

6.6 Disputes Resolution

- 6.6.1 All claims, counterclaims, disputes and other matters in question between the parties hereto arising out of or relating to this Agreement or the breach thereof will be presented to mediation, subject to the parties agreeing to a mediator(s).

6.7 Governing Laws

- 6.7.1 This Agreement shall be governed by the laws of the principal place of business of the Structural Engineer of Record.





June 11, 2025

Maggie Gordon, Principal
CPL
3600 South Blvd., Suite 500
Charlotte, North Carolina 28209

RE: Contract for Civil Engineering Services (v2)
Women with Children Recovery Center Renovation

Dear Ms. Gordon:

Westcott, Small & Associates, PLLC ("WSAA") is pleased to submit this contract to provide the requested civil engineering services for the proposed renovation of the Women with Children Recovery Center at 5209 W. Wendover Avenue. The center is located within Guilford County's Gibson Park complex, but within the jurisdiction of the City of High Point. The proposed project involves preparation of civil engineering construction plans for site work associated with renovation of the existing building, parking lot improvements, new sidewalks and utility service improvements. It is assumed that impervious surface will be removed elsewhere on site to allow for no net increase in impervious surface. A stormwater control measure (SCM) will not be designed for, nor will the existing pond be reviewed for, suitability for treatment of existing, proposed or future impervious surface. In order to provide accurate construction documents, the existing conditions of the site, including boundary, utility, size and location, site improvements (parking, building, sidewalks, etc.) must be field located and surveyed. WSAA will utilize a subconsultant for this service.

SCOPE OF SERVICES:

Based on our understanding of the project, we will provide the following services:

Pre-Design Phase

1. Our sub-consultant, Regional Land Surveyors, Inc. (RLS), will provide a partial Boundary, Topographic and Utility Survey for the site (see Attachment C). All information will be provided using the North Carolina Grid system (Horizontal datum - NAD 83(2011) epoch 2010.0 and Vertical datum NAVD88) and the Standards of Practice for Land Surveying in North Carolina Title 21, Chapter 56, Section .1600 of the North Carolina Administrative Code.
2. The topographic survey will be at 1 foot contour intervals with spot elevations to provide clarity where needed.
3. Underground utilities, including water, power, fiber optic, communication, cable, etc. will be located by Northstate Utility Locating, Inc. and shown on the survey.
4. Sanitary sewer invert/pipe size/pipe type information will also be collected and shown on the survey. Landscaped areas will be identified, but no specific shrubbery identification will be provided.

Schematic Design:

5. WSAA will meet with the owner/design team to gain an understanding of the Client's vision for the site.
6. Using the survey provided by the owner, WSAA will coordinate with the design team to prepare preliminary site and utility plans.
7. WSAA will submit the preliminary plans to the City of High Point for Sketch Plan review and attend the associated meeting.
8. WSAA will share the Sketch Plan review comments with the Client.
9. WSAA will provide PDF versions of the schematic design drawings to the architect for inclusion in the submittal package.

Design Development:

10. Using the agreed upon schematic design, WSAA will incorporate sketch plan review, owner and Client comments and develop preliminary site, utility and grading plans.
11. WSAA will attend up to two (2) meetings (virtual or in person) with the owner and/or architect.
12. WSAA will provide PDF versions of the design development drawings to the architect for inclusion in the submittal package.

Construction Documents:

13. Using the agreed upon design development plans, WSAA will incorporate owner and Client comments and refine the site, utility and grading plans.
14. WSAA will develop the existing conditions, demolition, watershed and erosion control plans.
15. WSAA will prepare the Technical Review Committee (TRC) coversheet and develop site related construction details.
16. WSAA will prepare the necessary storm drainage, watershed and erosion control calculations to supplement the construction drawings.
17. WSAA will submit construction plans and associated calculations to the City of High Point Technical Review Committee (TRC) and Watershed Review Committee (WRC) for review and comment.
18. If required, WSAA will prepare and submit the planning and driveway permit applications to the City of High Point for approval.
19. If required for approval, WSAA will develop profiles for water mains and storm drainage.
20. WSAA will prepare and submit the Financial Responsibility Form with erosion control plans and calculations to the NC Department of Environmental Quality (Land Quality Section) for review and comment.
21. WSAA will promptly address jurisdictional review comments and resubmit for approval.
22. WSAA will assist the owner in completing the Stormwater Certificate of Coverage Application.
23. WSAA will develop technical specifications related to the site portions of the project for inclusion with the Architect's specifications.
24. WSAA will provide PDF versions of the construction drawings to the architect for inclusion in the submittal package.
25. WSAA will attend up to five (5) meetings (virtual or in person) with the owner and/or architect.

Bidding/Negotiation:

26. WSAA will provide PDF versions of the technical specifications and approved construction drawings to the architect for inclusion in the bid package.
27. If requested, WSAA will attend the prebid meeting.
28. WSAA will address questions received during the bidding phase related to the site portion of the project and will provide related design clarification to the architect for distribution.

Limited Construction Administration:

29. WSAA will attend a preconstruction meeting and up to eight (8) site visits/meetings for a total of up to nine (9) site visits/meetings throughout construction.
30. WSAA will review applicable shop drawings and assist the architect in reviewing the construction schedule, schedule of values and pay requests.

Final Project Closeout:

31. Utilizing redline markups provided by the contractor, WSAA will submit required as-built utility drawings to the City of High Point for review and comment.
32. WSAA will promptly address as-built review comments and resubmit for approval.
33. If required, WSAA will develop hydrant cards and submit to the City of High Point for approval.
34. If required, WSAA will review public utility TV footage (provided by others) and note discrepancies as required by the City of High Point.
35. WSAA will perform one pre-punch list and one final punch list site visit

SPECIFICALLY EXCLUDED FROM THIS FEE:

1. Construction staking, platting
2. Zoning Fees, Review Fees, Inspection Fees, Impact Fees, Meter Fees, Capacity Use Fees, Bonds, etc.
3. Prints

4. Attendance of P&Z, City Council or other Public Meetings
5. Rezoning & Special Use Permit, Applications, etc.
6. Downstream studies (storm and sanitary sewer) and flood studies
7. Building Permitting
8. Off-site improvements, including turn lanes
9. Landscape and Decorative Hardscape Design, including amenity area, Site furnishings, Signage
10. Fulltime Construction Administration/Observation
11. Traffic Impact Analysis and/or Signal Design
12. Environmental/Geotechnical Engineering/Testing
13. Structural Engineering
14. Lighting Design
15. Retaining Wall Design
16. Irrigation, Gas, Telephones, Electrical Service Design
17. Sanitary sewer main, force main and/or pump station design and permitting
18. Water main design and permitting
19. Hydrant, flow test, fire flow calculations, fire pump calculations and associated permits
20. Cost estimates
21. Color renderings
22. Offsite improvements
23. Traffic improvements including turn lanes
24. Stormwater Control Measure (SCM) analysis, design or certification
25. Coordination of utility TV
26. Other permitting (not specifically included above)

BASIS FOR FEE:

1. The Owner shall pay all application, user and permit fees for all State, County or City reviews and approvals, as an additional reimbursable expense. Owner shall assist in the review and permitting phase of the project by execution of all application forms and documents in a timely manner.
2. The Architect shall furnish building footprint and utility drawings in AutoCAD format and all relevant data (size, inverts, etc.) needed to accurately locate proposed buildings and utility connections on the site plan.
3. The Owner shall furnish the services of a geotechnical engineer to determine subsurface conditions, pavement recommendation, and seasonal high water table, with appropriate professional interpretations thereof.
4. The Owner shall furnish the services of an environmental engineer and provide copies of all stream determinations, wetlands delineation or concurrence letters, and any environmental reports (Phase 1 ESAs, etc.) as are available for reference.
5. The scope of service is based on the requirements of the City of High Point, North Carolina and Guilford County, in effect at the time of the contract. If rules, regulations, ordinances, or submittal / approval procedures change, the scope, schedule, and/or compensation may need to be revised.
6. The Client will provide required fire flow calculations, irrigation (including for athletic fields) and landscaping design (including planting yards and SCM).
7. The contractor will maintain utility markups during construction and will provide a final markup to WSAA for use completing as-built plans.

FEES:

We propose to perform the scope of services described above for the lump sum fee as follows:

Pre-Design (includes surveying sub-consultant)	\$19,550
Schematic Design	\$5,600
Design Development	\$6,700
Construction Documents	\$17,860
Bidding/Negotiation	\$2,500
Limited Construction Administration	\$8,400
Final Project Closeout	\$7,600
Total Consultant Fee	\$68,210

Invoicing will be in accordance with the Schedule of Rates (Attachment A). All services will be provided in accordance with the attached Terms and Conditions (Attachment B). If additional services, including construction administration, become necessary, we will acquire written authorization in advance from the Client, and bill for these services in accordance with the attached Schedule of Rates (Attachment A) or at an agreed to lump sum fee.

WSAA reserves the right to temporarily install a sign on the site during construction identifying WSAA as the contracted engineer and to use images of the site and project in marketing materials. We look forward to working with you on this project.

Sincerely Yours,
Westcott, Small & Associates, PLLC



Victoria Waldron Small, PE
Principal

Attachments: Schedule of Rates (Attachment A)
 Terms and Conditions (Attachment B)
 Survey Limits (Attachment C)

AGREED TO AND ACCEPTED

Signature: _____

Printed Name & Title: _____

Date: _____

Attachment A

Schedule of Rates

Staff	Hourly Rate
Professional Engineer	\$150.00/hour
Engineering Intern	\$85.00/hour
Field Technician	\$75.00/hour
Engineering Draftsman	\$65.00/hour
Administrative	\$35.00/hour
Outside Consultants	Cost *1.1
Prints	\$2.00 - \$3.00/sheet
Mileage	\$0.58/mile

1. Charges are due and payable fifteen (15) days after the invoice date. Interest will be charged at the rate of 1% per month for outstanding balances over one month old.
2. Construction administration staff will be billed at equivalent grade, depending on qualifications.
3. Time spent providing depositions or courtroom testimony will be billed at 150% of the hourly rate.

Attachment B

TERMS AND CONDITIONS

Section 1. Services. The Client hereby agrees to engage Westcott, Small & Associates, PLLC (hereinafter referred to as WSAA) and WSAA hereby agrees to perform certain services for the party to whom the agreement letter is addressed (hereinafter referred to as Client) in accordance with the scope in the authorizing agreement.

Section 2. Client's Responsibilities. The Client agrees to provide WSAA with all existing data, plans, and other information in the Client's possession, which are necessary for the performance of Services. The Client further agrees to provide any additional data, plans, or other information as may be specified in authorized work orders.

Section 3. Standard of Care and Warranty. WSAA agrees that its Services will be performed with that level of care and skill ordinarily exercised by members of the profession currently practicing under similar conditions and circumstances. No other warranty, expressed or implied, is made. WSAA's interpretations and recommendations may be based on the results of test borings by others, surveys or other investigative work. The Client recognizes that subsurface conditions elsewhere in the work area may differ from those at the exploration locations and that conditions may change over time. WSAA will not be responsible for the interpretation or use by others of data developed by WSAA.

Section 4. Compensation. The lump sum fee for WSAA's services includes labor, overhead and profit. WSAA will prepare monthly invoices based on WSAA's estimate of the proportion of the total services actually completed during the billing period to the lump sum fee. If an up front retainer was required then the retainer will be applied to the final billing of the project.

Section 5. Payment. Invoices are due fifteen (15) days from the invoice date. Client agrees to pay a finance charge equal to one percent (1%) per month on past due accounts. Invoices not paid within 90 days from the invoice date will be given to an attorney for collection and a stop work order will be issued on the project. Client agrees to reimburse WSAA for all fees associated with collection. Invoices for Services performed on a time-and-materials basis will be submitted showing labor (hours worked) and total expenses, but not actual documentation. If requested by the Client, documentation will be provided by WSAA at the cost of providing such documentation including labor and copying costs.

Section 6. Notices. Communications from the Client shall be to WSAA's designated project manager or principal-in-charge of the work. Oral communications shall be confirmed in writing.

Section 7. Opinions of Cost. WSAA makes no representation concerning any opinions of cost provided in connection with these services other than that all cost figures represent our professional opinion of probable cost. WSAA shall not be responsible for fluctuations in cost factors.

Section 8. Confidentiality. WSAA shall maintain as confidential and not disclose to others without Client's prior written consent, all information obtained from Client, not otherwise previously known to WSAA in the public domain, as Client expressly designates in writing to be "Confidential." The provisions of this paragraph shall not apply to information in whatever form which (i) is published or comes into the public domain through no fault of WSAA, (ii) is published by or obtained from a third party who is under no obligation to keep the information confidential, or (iii) is required to be disclosed by law on order of a court, administrative agency or other authority with proper jurisdiction.

Section 9 Independent Contractor. WSAA's relationship with the Client under this Agreement shall be that of independent contractor. The employees, methods, equipment, and facilities used by WSAA shall at all times be under its exclusive direction and control, and the Client shall not exercise control over WSAA except insofar as may be necessary to ensure performance and compliance with this Agreement.

Section 10. Insurance. WSAA agrees to purchase and maintain at its own expense general liability insurance, and automobile liability insurance. Certificates of insurance shall be provided to Client upon request in writing. Within the

limits and conditions of such insurance, WSAA agrees to reimburse the Client for any damages sustained by the Client which are covered by WSAA's insurance to the extent of the limitations and exclusions contained within said insurance policies and Sections 11 and 12 of this Agreement. WSAA agrees to purchase additional insurance as requested by the Client (presuming such insurance is available) provided the premiums for such additional insurance are reimbursed by the Client.

Section 11. Indemnification. WSAA shall indemnify, and hold the Client harmless from and against any claim asserted by any person or entity (other than an officer, director, employee or agent of Client) arising out of WSAA's negligent acts, errors, or omissions, subject to the limitations and exclusions contained herein in Sections 12 and 14. Client shall indemnify and hold WSAA harmless from and against any claim asserted by any person or entity (other than an officer, director, employee, or subcontractor of WSAA) arising out of Client's negligent acts, errors, or omissions.

Section 12. Liability Limitation. WSAA's liability to the Client for any loss or damage, including, but not limited to, special and consequential damages, arising out of or in connection with this Agreement from any cause, including WSAA's professional negligence, errors, or omissions shall not exceed the greater of \$10,000 or the compensation received by WSAA hereunder, and Client hereby releases WSAA from any liability above such amount.

Section 13. Jobsite Safety. Neither the professional activities of WSAA nor the presence of the WSAA employees and subcontractors at a construction site, shall relieve the General Contractor and any other entity of their obligations, duties and responsibilities including, but not limited to, construction means, methods, sequence, techniques or procedures necessary for performing, superintending or coordinating all portions of the Work of construction in accordance with the contract documents and any health or safety precautions required by any regulatory agencies. WSAA personnel have no authority to exercise any control over any construction contractor or other entity or their employees in connection with their work or any earth or safety precautions. The client agrees that the General Contractor is solely responsible for jobsite safety, and warrants that this intent shall be made evident in the Client's agreement with the General Contractor.

Section 14. Disputes. If a dispute arises relating to the performance of the Services covered by this Agreement, and legal or other costs are incurred, the prevailing party shall be entitled to recover all reasonable costs incurred in the defense of the claim, including staff time at current billing rates, court costs, attorney's fees, and other claim-related expenses. In the event of any litigation, Client agrees to pay to Engineer interest on all past due balances at the rate of twelve percent (12 %) per annum.

Section 15. Termination. This Agreement may be terminated by either party upon thirty (30) days written notice in the event of substantial failure of performance by the other party or if the Client suspends the work for more than three months. In the event of termination, WSAA shall be paid for services performed prior to the termination notice date plus reasonable termination expenses, including the cost of completing analyses, records, and reports necessary to document job status at the time of termination.

Section 16. No Waiver. The failure of a party to enforce strictly any provision of this Agreement shall not be deemed to act as a waiver of any provision, including the provision not so enforced.

Section 17. Choice of Law. This Agreement is deemed to be made under and shall be construed according to the laws of the State of North Carolina.

Section 18. Successors and Assignments. The Client and WSAA each binds itself and its successors, executors, administrators, and assigns to the other party of this Agreement and to the successors, executors, administrators, and assigns of such other party, in respect to all covenants of this Agreement.

Section 19. Amendments. All modifications to this agreement shall be made in writing and approved by both Client and WSAA.

Section 20. Severability. The invalidity or unenforceability of any particular provision of this Agreement shall not affect the other provisions hereof, and this Agreement shall be construed in all respects as if such invalid or unenforceable provision were omitted.

Section 21. Entire Agreement. This Agreement, including all attachments authorized hereunder, constitutes the entire agreement between the parties hereto and it supersedes all prior or contemporaneous agreements, whether oral or written, with respect to the subject matter hereof. In case of conflict or inconsistency between this Agreement and any other contract documents, this Agreement shall control. No agreement hereafter made between the parties shall be binding on either party unless reduced to writing and signed by an authorized officer of the party sought to be bound.

5209 W. Wendover Ave.

Survey Limits Exhibit - 8.7 acres

Legend

- 5209 W Wendover Ave
- GIS Parcel Lines
- Survey Limits





Library & Active Living Center, Cabarrus County, NC

QUALIFICATIONS

Guilford County, NC

Renovations for the Women with Children Recovery Program at Gibson Park Design Services

April 24, 2025
Bid Number: 20271

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Information Sheet



Guilford County
STATE of NORTH CAROLINA

INFORMATION SHEET

Firm Name:

CPL Architects and Engineers, P.C.

☐ Hub
Certified
If HUB,
Specify
Type
☐ Female
☐ Disabled

☐ American-Indian
☐ Asian-American

☐ Hispanic
☐ Black

☐ Socially &
Economically
Disadvantaged

Point of Contact:

Kenneth Mayer, Jr., FAIA, LEED AP

Email Address: kmayer@CPLteam.com

Street Address:

400 Bellemead Street, Suite 401

City:

Greensboro

State:

NC

Zip Code:

27401

Country:

USA

Phone #

336.373.9800

Fax:

336.373.0077

Type of Firm:

Architectural, Engineering, Planning

(e.g. Architectural, Civil Engineering, Surveying, Etc)

CONSULTING FIRMS

Architectural:	<input type="text"/>	<input type="checkbox"/> Check if HUB	Mechanical:	<input type="text"/>	<input type="checkbox"/> Check if HUB
Electrical:	<input type="text"/>	<input type="checkbox"/> Check if HUB	Plumbing:	<input type="text"/>	<input type="checkbox"/> Check if HUB
Structural:	Lynch Mykins	<input checked="" type="checkbox"/> Check if HUB	Civil:	<input type="text"/>	<input type="checkbox"/> Check if HUB
Landscape:	Revington Reaves	<input checked="" type="checkbox"/> Check if HUB	Interior Design:	<input type="text"/>	<input type="checkbox"/> Check if HUB
Other (specify type):	Cost Planning - BREE & Associates				<input checked="" type="checkbox"/> Check if HUB
Other (specify type):	<input type="text"/>				<input type="checkbox"/> Check if HUB



2

Letter of Interest



April 24, 2025

Guilford County Purchasing Department
Katie S. Cashion Center
201 South Greene Street, Basement-Suite 072
Greensboro, NC 27401

RE: Guilford County, Renovations for the Women with Children Recovery Program at Gibson Park RFQ (Bid Number: 20271)

Guilford County Purchasing Department,

On behalf of CPL, we are pleased to submit our qualifications for design services in support of the renovations to the Women with Children Recovery Program at Gibson Park. We recognize the critical role this facility plays in fostering healing, stability, and hope for families in recovery. Our team is deeply committed to designing spaces that promote dignity, comfort, and connection—environments that serve not only functional needs but also the emotional and psychological well-being of those who use them. CPL has assisted many of our community partners over the years with design solutions for trauma informed residential recovery projects, as well as providing guidance on clinical operations and management of these facilities. Our team offers the County some unique strengths.

CPL has a long-standing familiarity with both Guilford County and the Gibson Park building. CPL has partnered with Guilford County Government since the late 1980s, delivering a range of projects including parks, MEP upgrades, and most recently, a comprehensive county-wide facilities assessment and master plan covering over 2 million square feet (completed in 2023–2024). Notably, CPL's Alan Cox and Ken Mayer led the original design of the Gibson Park building in the early 1990s, when it served as a cutting-edge residential substance abuse treatment center. As part of our recent facilities assessment, we conducted a full evaluation of the building, giving us current, in-depth knowledge of its condition and opportunities for improvement.

Our team includes leaders with direct experience in trauma informed design (Maggie Gordon and Robin Washco) who also bring an additional wealth of experience with behavioral health and similar projects. This experience also includes over 30 years of guiding projects through the North Carolina Department of Health and Human Services' Division of Health Service Regulation group, along with other regulatory agencies. We also have experience working with independent skilled operators of these facilities. Our experience includes projects with:

- RHA Health Services
- Vaya Health
- Atrium Health
- Caldwell UNC Healthcare
- Cone Health
- Erlanger Western Carolina Hospital
- Caldwell County
- Mission Health
- Pavillon International
- Wayne UNC Healthcare
- Wake Forest Baptist Medical Center
- Orange County
- Centers for Hope
- Family Justice Center Advanced Planning



CPL is deeply passionate about creating healing-centered spaces that foster safety, dignity, and hope. We understand the critical role environment plays in the recovery journey—especially for women and children—and are committed to delivering thoughtful, trauma-informed design solutions that support resilience and growth. With three offices in North Carolina (Greensboro, Charlotte, and Raleigh) and a team of over 500 multi-disciplined architects, engineers, and planners, we bring both local insight and national expertise.

We believe we are the right partner for this project. Our team is prepared to support Guilford County in delivering a space that truly empowers the individuals and families it serves. If you have any questions, please contact Maggie Gordon at 704.331.9131. We would be honored to contribute to this meaningful initiative and look forward to the opportunity to collaborate on a project that will make a lasting difference in the community.

With Best Regards,

CPL

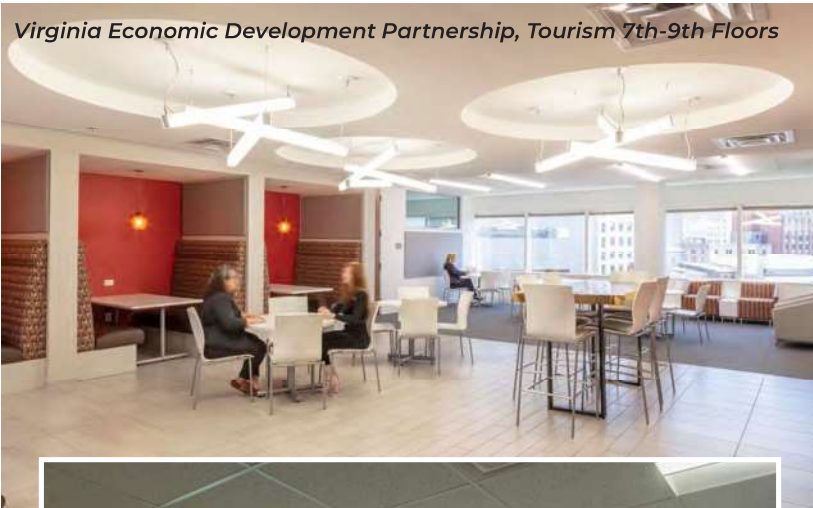
Rachel F. Nilson, AIA, NCARB
Vice President
518.892.7310
RNilson@CPLteam.com

Maggie Gordon, RID, NCIDQ
Principal
704.331.9131
MGordon@CPLteam.com



Guilford County Behavioral Health Crisis Center - Revington Reaves

Virginia Economic Development Partnership, Tourism 7th-9th Floors



Novant Health, Rowan Cancer Center Rendering, Winston-Salem, NC



Ellenville CSD, NY



Library & Active Living Center, Cabarrus County, NC

Hospice of Greensboro, NC - Revington Reaves





3

Project Team Organization Chart

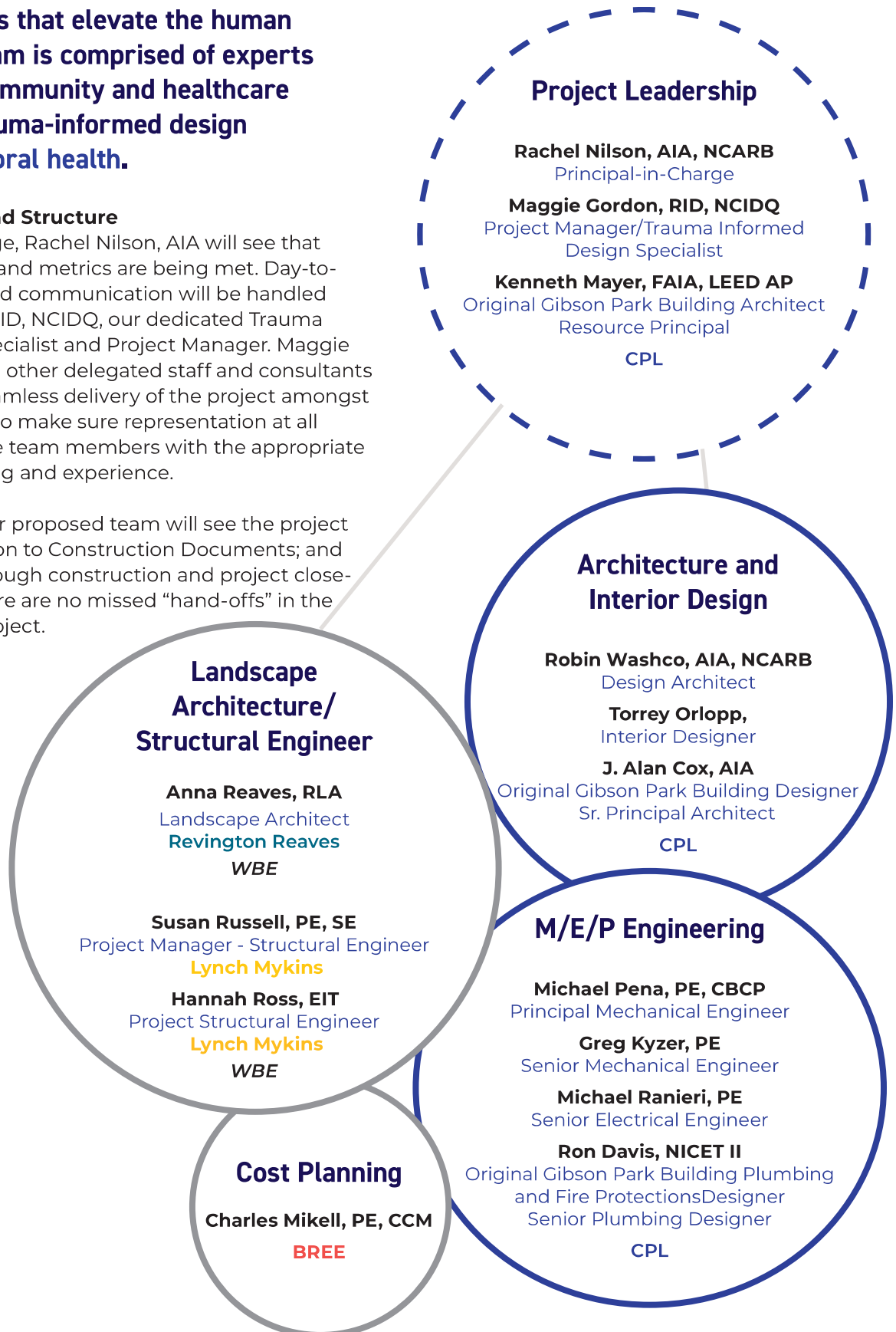
Project Organizational Chart

We design spaces that elevate the human spirit and our team is comprised of experts specializing in community and healthcare planning and trauma-informed design including behavioral health.

Team Leadership and Structure

As Principal-in-Charge, Rachel Nilson, AIA will see that overall project goals and metrics are being met. Day-to-day management and communication will be handled by Maggie Gordon, RID, NCIDQ, our dedicated Trauma Informed Design Specialist and Project Manager. Maggie will work closely with other delegated staff and consultants to ensure there is seamless delivery of the project amongst the team. She will also make sure representation at all meetings will include team members with the appropriate level of understanding and experience.

Most importantly, our proposed team will see the project through from initiation to Construction Documents; and remain engaged through construction and project close-out. This ensures there are no missed “hand-offs” in the continuity of your project.





Rachel F. Nilson

AIA, NCARB



Principal-in-Charge

Charlotte Office

As a Principal in our Charlotte office, Rachel oversees complex renovation and new construction assignments spanning the Community and Higher Education market sectors. With over a decade of experience in the A/E industry, she leverages digital modeling and fundamental design principles to highlight every project's unique characteristics, and her approach is centered around sustainability and accessibility, with an emphasis on creating spaces that are inviting and inclusive. A natural leader, her work is defined by design ingenuity and a profound ability to bring client visions to life through active listening and collaboration.

EDUCATION

Bachelor of Architecture, Rensselaer Polytechnic Institute, School of Architecture; University of Washington, Rome, Italy

PROFESSIONAL REGISTRATION

Registered Architect: NC #013101

PROJECT EXPERIENCE

Guilford County, NC

- Comprehensive Facility Master Plan
- Data Center Maintenance Facilities Study

Caldwell County, Lenoir, NC

Crisis and Detox Center

Wayne UNC Health Care, Goldsboro, NC

Women and Infants Center Renovations

City of High Point, NC

Multi-Specialty Clinic
MOB Clinic Upfit
Dialysis Unit

Dalton State College, Dalton, GA

Health Professions Building Renovation/Addition

Town of Mt. Pleasant, NC

Cabarrus County Library and Active Learning Center

City of Belmont, NC

Community Center

Buncombe County, NC

35 Woodfin and Family Justice Center



Maggie Gordon

RID, NCIDQ



Project Manager/Trauma Informed Design Specialist

Charlotte Office

With over 20 years of experience, Maggie leads integrated partnerships among architects, interior designers, and project managers to deliver forward-thinking, human-centered healthcare environments. Her deep expertise in women's, behavioral, and trauma-informed health design is grounded in a holistic understanding of how the built environment can promote healing, safety, and dignity for vulnerable populations. She is particularly skilled in designing spaces that accommodate the unique needs of women and children, including those affected by trauma, addiction, and mental health challenges. Her thoughtful approach prioritizes sensory-sensitive materials, spatial equity, and inclusive design strategies that foster trust and empowerment.

EDUCATION

Bachelor of Science, Interior Design, Radford University

PROFESSIONAL REGISTRATION

Registered Interior Designer: NC

PROJECT EXPERIENCE

Orange County, Hillsborough, NC

Crisis Diversion Center

Atrium Health, Pineville, NC*

Long Term Acute Care & Rehabilitation Hospital

Novant Health, Winston-Salem, NC*

Today's Women & Children

Atrium Health, Charlotte, NC*

- Crittenton Services
- Levine Children's Hospital 7A Med Surg Renovation
- Levine Children's Hospital Playroom
- Carolinas Medical Center Main Maternity Center Upgrade
- Shelby Children's Clinic
- Heartest Yard Pediatric Cardiology Outpatient Center
- Children's Sub-Specialty Outpatient Center

*Experience Prior to CPL



Kenneth Mayer, Jr.

FAIA, LEED AP



**Original Gibson Park Building
Architect/Resource Principal**
Greensboro Office

Ken brings over 41 years of architectural experience. He was the 2015 President of the North Carolina Chapter of AIA, as well as serving on the UNC Greensboro Board of Trustees as Chair, and Ken's specialty areas include local government master planning and related projects, historic renovation and adaptive reuse.

EDUCATION

Bachelor of Environmental Design and Bachelor of Architecture, NC State University

PROFESSIONAL REGISTRATION

Registered Architect: NC #4305

PROJECT EXPERIENCE

Guilford County, NC

- Gibson Park Substance Abuse Center In-Patient Rehabilitation Facility
- Comprehensive Facility Master Plan & Courts Programming

Pavillon International Rehabilitation and Recovery Center

Polk County, NC

Senior Resources of Guilford, Greensboro, NC

Benjamin Parkway Renovations

Guilford Technical Community College, Jamestown, NC

- Adult Education Center
- Center for Advanced Manufacturing
- Campus Master Planning
- FAME (Federation for Advanced Manufacturing Education) Training Center
- Mechatronics Center
- Medlin Center eSports
- New Aviation Center:
- Technical Education Center

Hayes-Taylor Memorial YMCA, Greensboro, NC

- New facility with indoor aquatics and recreation
- Second floor expansion of childcare wing



Robin T. Washco

AIA, NCARB



Design Principal
Charlotte Office

As CPL's SE Region Design Leader, Robin inspires design excellence through her passion for a collaborative design process that is client-driven and concept-focused. Throughout her career, she has gained a wide breadth of expertise in designing, delivering and managing successful, impactful projects from conception through execution. This experience has built a strong foundational skill set that allows her to adapt and evolve with every new challenge. An advisor by nature, she applies a keen eye for design toward everything she does while listening first to build trust and promote co-creation with our clients on every project.

EDUCATION

Bachelor of Architecture, Virginia Polytechnic Institute and State University

PROFESSIONAL REGISTRATION

- Registered Architect: NC # 12772
- National Council of Architectural Registration Boards (NCARB)

PROJECT EXPERIENCE

Caldwell UNC Health

Jonas Hill Hospital and Behavioral Health Clinic
New Inpatient/Outpatient Facility

Caldwell County, Lenoir, NC

Crisis and Detox Center

Orange County, Hillsborough, NC

Crisis Diversion Center

City of New Bern, NC

Aquatic Center

Wayne UNC Health Care, Goldsboro, NC

- Behavioral Health Emergency Department Expansion/Renovation
- Women and Infants Center Renovations

City of High Point, NC

Center for Active Adults



Torrey Orlopp

MFA, IIDA, LEED GA,
LSSYB



Interior Designer

Greensboro Office

Torrey is an Interior Designer working with the team in our Greensboro office. She tackles a wide range of Higher Ed and Community Practice assignments spanning the east coast. She works directly with Principals and Project Managers to draft and detail interior elements – encompassing anything from reflected ceiling plans to annotated elevation and selections – and prepare 3D models. Passionate about sustainability and climate change, Torrey also leverages her credentials as a LEED Green Associate to champion and implement eco-friendly design practices for every project undertaken.

EDUCATION

- Master of Fine Arts, Interior Architecture, UNC-Greensboro
- Post-Baccalaureate Certificate of Historic Preservation, UNC-Greensboro
- Bachelor of Fine Arts, Interior Architecture, UNC-Greensboro

PROFESSIONAL REGISTRATION

- NCIDQ (in progress 2023)
- LEED Accredited Professional Green Associate (GA)

PROJECT EXPERIENCE

Guilford County, NC

Comprehensive Facilities Plan

Guilford Technical Community College

- Mechatronics Center
- FAME (Federation for Advanced Manufacturing Education) Training Center
- Technical Education Center
- High Point Skilled Center Study

Hayes-Taylor Memorial YMCA, Greensboro, NC

Second floor expansion of childcare wing

City of High Point, NC

Center for Active Adults

Buncombe County, NC

Family Justice Center at 35 Woodfin

Town of Rutherfordton, NC

New Town Hall - Engagement and Feasibility Study



J. Alan Cox

AIA



Original Gibson Park Building

Designer/Sr. Principal Architect

Greensboro Office

With a career spanning over four decades, Alan is a Senior Principal specializing in managing architectural projects within various project sectors. He places great emphasis on nurturing long-term relationships with clients and outside consultants, guiding design teams and mentoring and developing junior team members. Alan remains steadfast in his commitment to delivering superior service to CPL's partners and believes strongly in the education and processes necessary to achieve a high level of success in both design development and execution.

EDUCATION

Bachelor of Science, Environmental Design, North Carolina State University

PROFESSIONAL REGISTRATION

Registered Architect: NC #6051

PROJECT EXPERIENCE

Guilford County, NC

- Gibson Park Substance Abuse Center In-Patient Rehabilitation Facility
- Facility Ag Extension HVAC Renovations
- High Point Jail HVAC Renovations
- High Point Courthouse HVAC Renovations
- Juvenile Detention Center HVAC Renovations
- New Courthouse HVAC Renovations
- Old Courthouse Administration HVAC Renovations

Pavillon International Rehabilitation and Recovery Center

Polk County, NC

Guilford College, Greensboro, NC

- Hege Cox Hall ADA Evaluation
- Binford Residence Hall Renovation
- Milner Residence Hall Renovation
- Bryan Hall Feasibility Study
- Founder's Hall Renovation and Modernization
- North Apartments Exterior Renovations
- Alumni Gym Column Renovation and Pediment Repair
- Athletic Center Master Plan

Guilford Technical Community, Greensboro, NC

- Gerrald Hall Renovations
- J.C. Price Campus Renovations Feasibility Study
- Adult Education Center, New Building
- Technical Education Center



Michael Pena

PE, CBCP



Principal Mechanical Engineer
Greensboro Office

Mike has 20 years of experience at CPL designing HVAC systems for numerous local government facilities including town hall and public safety buildings. His expertise encompasses a wide range of facilities and a variety of heating, ventilation and air conditioning (HVAC) systems, including variable volume CO2 demand control, chilled beams, variable refrigerant volume, high efficiency boilers and energy recovery systems, and he also ample experience in the development of commissioning plans.

EDUCATION

- Bachelor of Science, Mechanical Engineering Technology
- State University of New York at Alfred

PROFESSIONAL REGISTRATION

Professional Engineer: NC#052834, NY, VA, GA

PROJECT EXPERIENCE

Guilford County, NC

Comprehensive Facilities Master Plan

Orange County, Hillsborough, NC

Crisis Diversion Center

Rochester Regional Health, Rochester, NY

Riedman Health Center

Hollins University, Hollins, VA

West Hall HVAC Replacement (Geothermal)

St. Luke's Cornwall Hospital, Newburgh and Cornwall, NY

Engineering Design Services for the implementation of new structures including:

- New mother/Baby Unit
- Emergency Department at Cornwall and St. Luke's Locations
- New Cancer Center
- HEAL 7 Various Projects

GLOW YMCA, Healthy Living Campus, Batavia, NY

Engineering coordinator for a new 90,000 sq. ft. YMCA housing a gymnasium, natatorium, workout areas, community areas and a 12,000 sq. ft. medical outpatient clinic operated by United Memorial Medical Center.



Gregory A. Kyzer

PE



Senior Mechanical Engineer
Greenville Office

Greg is experienced as lead mechanical engineer managing other engineers and designers for preparation of HVAC, piping, and plumbing contract documents including plans, specifications and calculations on institutional, industrial, commercial, healthcare, pharmaceutical, and multi-family residential projects. Duties have also included on-site surveying and evaluation of large-scale mechanical systems, preparation and submission of documentation for project LEED certification and presentations to prospective clients.

EDUCATION

Bachelor of Science, Mechanical Engineering, University of South Carolina

PROFESSIONAL REGISTRATION

Professional Engineer: NC #027581

PROJECT EXPERIENCE

Orange County, Hillsborough, NC

Crisis Diversion Center

Wayne UNC Health Care, Goldsboro, NC

- Behavioral Health Emergency Department Expansion/Renovation
- Women and Infants Center Renovations

Atrium Health Wake Forest Baptist Medical Center

Sticht Center Behavioral Unit Renovations

FirstHealth of the Carolinas, Pinehurst, NC

- Women and Children Services Renovation
- Outpatient Cancer Center

Gwinnett County, NC

- One-Stop Centerville Community Center
- Parks & Rec Lenora Park
- Beaver Ruin Park

Town of Garner, NC

Indoor Recreation Center



Justice Harris



Senior Electrical Designer

Greenville Office

Justice is an Electrical Designer working with the mechanical, electrical and plumbing (MEP) engineering team in our Greenville office. She has substantial experience providing design for interior and exterior lighting, grounding, emergency power, fire alarm and alternating current (AC) power distribution systems. Her responsibilities also include making project site visits to gather information, completing construction phase services and performing building condition evaluations. An initiator, Justice is always coming up with creative solutions and propelling the team to new heights.

EDUCATION

Associate of Science Degree, Architectural Engineering Technology, Greenville Technical College

PROJECT EXPERIENCE

Caldwell County, Lenoir, NC

Crisis and Detox Center

Orange County, Hillsborough, NC

Crisis Diversion Center

Atrium Health Wake Forest Baptist Medical Center

Sticht Center Behavioral Unit Renovations

FirstHealth of the Carolinas, Pinehurst, NC

- Women and Children Services Renovation
- Outpatient Cancer Center

Wayne UNC Health Care, Goldsboro, NC

- Behavioral Health Emergency Department Expansion/Renovation
- Women and Infants Center Renovations

Gwinnett County, NC

One-Stop Centerville Community Center

City of Belmont, NC

Community Center

Town of Garner, NC

Indoor Recreation Center



Ron Davis

NICET II



Senior Plumbing Designer

Greensboro Office

With close to 4 decades of experience, Ron is a talented Plumbing Designer who works with the mechanical, electrical and plumbing (MEP) engineering team. He has expertise in designing fire protection and plumbing systems for a variety of higher education and his responsibilities also include coordinating water and natural gas utility enforcement with agency officials and participating in construction phase services such as submittal reviews and punch lists.

EDUCATION

- Bachelor of Science, Architectural Engineering, North Carolina A&T University
- Bachelor of Arts, Art Education, North Carolina A&T University

PROFESSIONAL REGISTRATION

National Institute for Certification in Engineering II: NC 63035

PROJECT EXPERIENCE

Guilford County, NC

Gibson Park Substance Abuse Center In-Patient Rehabilitation Facility

Guilford Technical Community College, Jamestown, NC

- Adult Education Center
- Center for Advanced Manufacturing Renovation and Restoration
- Founders Dining Hall Renovation
- Technical Education Center

Guilford College, Greensboro, NC

- Athletics Center Study, Renovation & New Softball Complex
- Athletics Locker Room
- Binford Residence Hall Renovations
- North Apartments Renovations

FirstHealth of the Carolinas, Pinehurst, NC

Outpatient Cancer Center

Hollins University, Roanoke, VA

- Tinker Residence Hall Renovation
- Swannanoa Hall Renovation
- Presser Hall Renovation
- West Residence Hall Renovation



Charles D. Mikell

PE, CCM



Cost Planner

Mr. Mikell has over 30 years of progressive experience from design, project management, and construction management both nationally and locally. His experience includes serving as Scheduling Manager and Cost Estimator on WMATA's Northern and Bladensburg garages. He has expertise in project control management, budget control, quality control, field inspection, CPM scheduling, quantity estimation, task allocation to contractors and subcontractors, and invoice preparation. He has 10 years of combined experience in project management that includes hands-on experience of Primavera P6, MS Project, Open Plan, Prolog, Contract Manager, GIS, AutoCAD, MicroStation, and EVM analysis software.

EDUCATION

Bachelor of Science, Civil Engineering, Clemson University

PROFESSIONAL REGISTRATION

- Certified Construction Manager
- Professional Engineer: NC, VA, MD

PROJECT EXPERIENCE

Go Triangle Raleigh Union Station Bus Transit Facility (RUSBUS), Raleigh, NC

BREE is currently performing a detailed estimate review of the fees apportioned to Go Triangle and the developer at every design phase of Raleigh Union Station Bus Transit Facility.

Parkwood Area Lift Station Consolidation (PALSCo), Durham, NC

The Parkwood Area Lift Station Consolidation (PALSCo) Project involves eliminating several lift stations in the Parkwood area of the City's sewer collection system through construction of gravity mains, a new regional lift station, and force main. BREE provided cost estimating for the initial 5 alternatives and then cost estimating and scheduling for preferred alignment.

Public Works Operation Center Renovations, Durham, NC

BREE provided cost estimating and scheduling services throughout the design including Schematic Design, Design Development and Construction Document. BREE also provided budget reconciliation with the CMAR contractor (Balfour Beatty) after each design phase was completed.



Susan Russell

PE, SE



**Project Manager
Structural Engineer**

Susan is a seasoned structural engineer with expertise in designing behavioral health and specialized-use facilities. Her knowledge in behavioral health, education, and community-focused projects informs every design—safeguarding the well-being of users while delivering structurally sound, thoughtfully tailored solutions. In her 18 years in the industry she brings her vast years of experience to every design. She excels with reinforced concrete, structural steel, masonry, wood, and specialty structures.

EDUCATION

- Master of Engineering, Civil Engineering, North Carolina State University
- Bachelor of Science, Mathematics, Campbell University

PROFESSIONAL REGISTRATION

Professional Engineer: NC, SC, VA

PROJECT EXPERIENCE

First Health Women and Children's Center, Pinehurst, NC

Cabarrus Co. Behavioral Health Center, Kannapolis, NC

Wake County Public Health, Raleigh, NC

WakeMed Garner Behavioral Health, Garner, NC

Mecklenburg County Detention Center Phase I & II, Mecklenburg, NC

Gillings School of Global Public Health Addition, University of North Carolina at Chapel Hill, Chapel Hill, NC



Hannah Ross

EIT



Project Engineer

Hannah brings an energetic and efficient approach to structural engineering, infusing each project with precision, purpose, and a people-first mindset. Her portfolio includes public health and wellness-focused spaces, reflecting a strong commitment to environments that support behavioral health and community care. She thrives in collaboration with architects and healthcare consultants, ensuring every facility is thoughtfully designed to promote healing, privacy, and safety. With sharp attention to detail and a responsive, team-oriented style, Hannah consistently delivers structural solutions that support both staff and patients while keeping projects on-time and on schedule.

EDUCATION

Bachelor of Science, Civil Engineering, North Carolina State University

PROFESSIONAL REGISTRATION

Engineer in Training: NC

PROJECT EXPERIENCE

First Health Women and Children's Center, Pinehurst, NC

Wake County Public Health, Raleigh, NC

UNC Rex Cancer Center Addition, Holly Springs, NC

Mecklenburg County Detention Center Phase I & II, Mecklenburg, NC

Student Wellness Center, Elon University, Elon, NC



Anna Reaves

RLA



Landscape Architect

Anna Revington Reaves, is a registered landscape architect and founder of Revington Reaves Landscape Architecture and Planning with an extensive background in institutional and PK-12 planning and site design projects throughout North Carolina. Anna has served on the NCASLA Executive board, Natural Learning Initiative Advisory Board and the Greensboro Beautiful Advisory Board.

EDUCATION

- Master of Regional Planning, Cornell University
- Master of Landscape Architecture, Cornell University
- Bachelor of Landscape Architecture, NCSU

PROFESSIONAL REGISTRATION

Registered Landscape Architect: NC

PROJECT EXPERIENCE

Windsor Chavis Nocho Community Complex, Greensboro, NC

Plan2Play, Parks and Recreation Comp Master Plan, Greensboro, NC

Mayer Park Master Plan & Renovation, Greensboro, NC

Independence Park Master Plan, Charlotte, NC

Caldcleugh Recreation Center Renovation, Greensboro, NC

Folk Teen Recreation Center Master Plan, Greensboro, NC

Downtown Greensboro Parklet, Greensboro, NC

Rosewood Park Master Plan & Renovation, Greensboro, NC

Bingham Park Master Plan, Greensboro, NC

Bryan Park Sports Complex Master Plan, Greensboro, NC

Veterans Honor Green at Heritage Farm Park, Oak Ridge, NC

Community Recreation Center, Kernersville, NC

Buffalo Creek Park Master Plan, Greensboro, NC

Cultural Center Acoustical Playground, Greensboro, NC

Murray Massenburg Elementary School, Durham, NC
Sumner Elementary School, Greensboro, NC

David Brown Hall, Canterbury School, Greensboro, NC

Cornerstone Charter Academy Additions, Greensboro, NC

Revington Reaves Project Photography





Library & Active Living Center, Cabarrus County, NC

4

Relevant Experience & Other Important Factors

Specialized Expertise = Successful Projects

CONSIDER THE CPL TEAM'S:

Trauma-Informed Design Experience

- Experience designing spaces that promote healing, safety, and dignity.
- Familiarity with sensory-friendly design, natural light, calming colors, acoustics, and non-institutional materials.
- Layouts that allow for both privacy and community, supporting varied emotional and recovery needs.

Experience with Transitional or Supportive Housing

- Work on transitional housing, shelters, or permanent supportive housing—especially for vulnerable populations like women, families, or veterans.
- Understanding of zoning, code compliance, and funding agency requirements (like HUD or state programs).

Design for Children and Families

- Spaces for early childhood education, play areas, and family-oriented living units.
- Experience balancing child safety and developmental needs with mother's recovery support.

Behavioral Health or Recovery Facility Design

- Understanding of the operational flow, safety, and privacy considerations specific to substance use disorder (SUD) recovery programs.
- Knowledge of group therapy spaces, private counseling rooms, staff monitoring needs, and controlled access points.

Adaptive Reuse and Renovation Expertise

- Experience renovating older or existing buildings into specialized, mission-driven spaces.
- Ability to work with tight budgets and creatively reimagine space while preserving structure integrity or historical value.

Community Engagement & Stakeholder Facilitation

- Skilled in engaging residents, staff, community advocates, and sometimes those with lived experience.
- Ability to facilitate collaborative design processes that honor the voices of future users.



Baker Victory Services, Buffalo, NY



Bridgewater College Stone Village Housing, VA

Orange County Behavioral Health Crisis Facility

Architectural & Interior Design, FF&E, M/E/P, and Structural Engineering

DHSR Licensed

Location: Hillsborough, NC

Client: Orange County

Completion Date: 2026 est.

Cost: \$25 million est.

Orange County, North Carolina has engaged with CPL to perform preliminary and schematic level design and analysis services for a new Behavioral Health Crisis Diversion Facility. CPL's interior design team is responsible for the welcoming and safe interiors, as well as furniture layout, specification, and coordination.

The County's goal is to create a facility with programming that offers a comprehensive crisis continuum providing:

- Rapid crisis response for Orange County citizens experiencing a behavioral health crisis.
- Observation units for individuals to de-escalate, receive treatment, or await connection to a higher level of care.
- Medical clearance to decrease Emergency Department usage.
- Follow-up care and coordination post-crisis to connect individuals to community treatment.
- A 24/7/365 drop-off center for law enforcement and first responders to decrease utilization of emergency room and detention center for individuals experiencing a mental health crisis.

- A 16-Bed facility to provide further evaluation and stabilization for Mental Health Crises and Non-Hospital Detox supports.
- A Peer Living Room Program that promotes safety, self-advocacy, and resiliency and supports individuals as they work toward person wellness goals.

The Crisis Diversion Center is envisioned as being welcoming, safe, and calming with no wrong door – protecting patient dignity and providing access to care from case managers, peer specialists, social services, and community resource specialists.

The CPL team worked collaboratively with the Orange County Crisis Diversion Facility Subcommittee and through visioning sessions, bubble diagrams, flow mapping and more, arrived at the solutions and recommendations in this report. Additionally, there were two community engagement meetings to ensure input was heard from all interested parties.

The building will be 1-story and approximately 31,000 sq. ft. and consist of four functions: Intake and Triage, Behavioral Health Urgent Care (BHUC, less than 24-hour care), Facility Based Crisis Center (FBCC, overnight care) and the Community Resource and Call Center. Separate entrances will be provided, the front for the general public and the rear for Law Enforcement and EMS. Both entrances will be welcoming and calming for arriving patients. Intake, waiting and triage areas will be designed to keep pediatric and adult patients separate. Daylighting and views, multipurpose spaces and access to outside amenities are a priority in the design.



Jonas Hill Hospital and Behavioral Health Clinic

New Inpatient/Outpatient Facility

Architectural & Interior Design, FF&E, and Structural Engineering

CPL provided architectural and interior design services for a new Caldwell UNC Behavioral Health Facility in Lenoir, North Carolina. The facility was opened in 2020 and provides support for mental health, substance use disorder and developmental disability outpatient programs. CPL was responsible for all furniture specifications and coordination, which integrated seamlessly with the calming interior design. Our team also provided detailed landscape design for the outdoor patient area.

Located on a rolling site adjacent to Caldwell UNC Health, the Jonas Hill Hospital and Behavioral Health clinic is a community-minded facility combining both inpatient and outpatient services in a setting that supports healing, and promotes community awareness and involvement.

Complete with 27 beds for adult inpatient behavioral health hospitalization, Jonas Hill is equipped to treat a variety of conditions including anxiety, depression, bipolar disorder, schizophrenia, post-traumatic stress disorder (PTSD), and substance abuse. The facility's integrated outpatient clinic will provide additional education and resources to patients and their families including behavioral health evaluations, medication management, and therapy/counseling.



DHSR Licensed

Location: Lenoir, NC

Client: Caldwell UNC Health

Size: 21,680 sq. ft.

Completion Date: 2020

Cost: \$8.1 M

Pavillon International

Master Planning, Site Services, Architecture, and Engineering

**DHSR Licensed****Location:** Mill Spring, NC**Client:** Polk County**Completion Date:** 1996

This rehabilitation center embodies the beauty of its mountain setting and the recovery center's philosophy of incorporating light, sound and the tranquility of the natural surroundings into its program.

The facility, composed of local stone and stained wood, sits in harmony with its surroundings, emphasizing the beauty of the site. Lower level guest rooms open to patio areas. A serpentine arbor accommodates outdoor dining and flows from the large living/dining area with a huge central fireplace.

The initial facility consists of 15 two-bed guest rooms and 33,710 sq. ft. A 10 guest room extension to the facility increased the beds to 50 and increased the square footage to 42,256 sq. ft. A later expansion by CPL included a Welcome Center and Detox Center.

4.2 Past Performance on Similar Project

Women and Infants Center Renovations

Architectural & Interior Design, FF&E, M/E/P

CPL was engaged by Wayne UNC Health Wayne to design a renovation to their existing Women's and Infant Center of approximately 25,000 sq. ft. The project included a complete reconfiguration to the labor and delivery suites, nurse stations, core support, and c-section OR. The postpartum unit was completely renovated to provide a transformational patient experience, as well as upgrades to the nursery to support the operational change to mother baby recovery rooms.

Because this was an existing unit, CPL performed detailed site and systems evaluation which included documenting via field reports. These reports were used during the design process to ensure the existing conditions were considered as we planned for the new space. Additionally, each unit required program updates to comply with current state licensure rules and regulations that needed to be balanced against the clinical program needs.

CPL worked closely with the client, physicians, and clinical staff to understand project goals and ideal outcomes for patients (both mother and child), as well as their guests. The project goals were to make a more welcoming and warm environment for patients while making the space more efficient for clinicians. The goals were met above and beyond the expectation of the client while staying within budget.



DHSR Licensed

Location: Goldsboro, NC

Client: Wayne UNC Health Care

Completion Date: 4/2017 (Phases 1-3)

Cost: \$1.58 M

OneStop Centerville Health & Human Services Center

Architectural Design, Interior Design, FF&E, M/E/P,
and Structural Engineering



Location: Snellville, GA

Client: Gwinnett County, GA

Completion Date: 2024

Cost: \$16 M (est.)

CPL was chosen to provide Gwinnett County with Architectural Design, Interior Design, Structural Engineering, and M/E/P design for the construction of an approximately 33,000 sq. ft., two story building containing a Mental Health program, based on the Norcross Human Services Facility.

CPL worked closely with the client to come up with a design that would coordinate with the existing buildings on-site, while still creating a modern facility. The layout features daylight and views from most spaces within the facility, along with easy access to the playground area for Head Start. Wayfinding for the public was a big concern of the client, and CPL has created a functional layout that is easy for visitors to navigate. Various waiting areas and check-in locations are spaced throughout the facility to serve the various programs the building will house as Gwinnett County continues to expand their services.

The expansion is expected to offer additional space for the Gwinnett, Newton and Rockdale Health Departments, View Point Health and the Head Start early childhood learning program.



4.2 Past Performance on Similar Project

Designing with Purpose: A Collaborative Approach with RHA Health Services

CPL has partnered with RHA Health Services on three major projects including Caldwell County Facility Based Crisis Center (FBC), Orange County Behavioral Health Crisis Facility, and the Alamance County Crisis Diversion Center, each are DHSR licensed. RHA is the operator of each of these facilities and was involved with CPL and the respective County administrators at the start of each project.

CPL worked in close collaboration with RHA to develop a space that not only meets the clinical and safety requirements for behavioral health but also promotes healing and comfort for patients and staff. We are well-versed in partnering with operators to achieve successful design.

The images shown here illustrate key moments in the design process—from early concept sketches and planning sessions to layout iterations and elevations

Each phase reflects a shared commitment between CPL and RHA to create a facility that prioritizes safety, dignity, and flexibility.

By engaging RHA stakeholders early and often, CPL was able to:

- Tailor design elements to the specific needs of the population served, including selecting anti-ligature fixtures, calming finishes, and intuitive room layouts.
- Prototype and refine room configurations, resulting in a universal room design that supports both current use and future expansion.
- Balance form and function, ensuring the space felt welcoming and therapeutic, rather than institutional.

This collaborative, patient-focused process was key to shaping an environment that supports 24-hour care and long-term recovery for residents across Caldwell, Orange, and Alamance Counties.

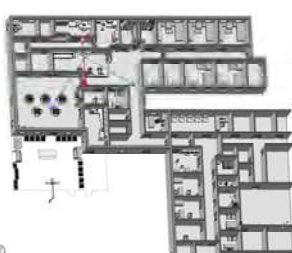
Highlights of the collaborative process with RHA:



Rough Space Planning



Schematic Design Plan



3-D Views of the Design

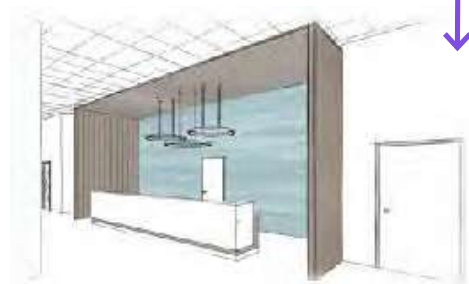
theming | pathway



Visioning and Theming



Schematic Design Plan



3-D View of Interior to Show Design Application

Recent DHSR Licensed Projects

Alamance Regional Behavioral ED Renovations, NC

Caldwell Memorial Hospital UNC Health Care, NC

- Behavioral Health Facility Additional Services - Value Engineering
- Behavioral Health Facility Outdoor Patient Yard

FirstHealth Moore Regional Hospital Labor and Delivery Renovation, NC

RHA Wilmington Crisis & Detox Feasibility Study, NC

Atrium Health

- Cabarrus Behavioral Holding
- Copperfield PET CT
- Cabarrus Hybrid Vascular Lab
- Cabarrus Infusion Center
- CMC Main OR Renovation
- CMC Main MRI Replacement
- Pineville Hospital 7th Floor
- Pineville Hospital OR Upfits
- AH Wake Forest Baptist Bed Tower
- Multiple Projects at AH Wake Forest Baptist Hospital

Cone Health

- Annie Penn MRI Replacement
- Multiple Projects at Alamance Regional Medical Center
- Multiple Projects at Moses Cone Hospital
- Wesley Long Hospital Endoscopy Renovation
- Wesley Long Pharmacy
- Wesley Long Nurse Station and Behavioral Nurse Station

UNC Health Wayne

- Wayne Memorial Hospital Emergency Department Renovation
- Wayne Memorial Hospital Behavioral Holding Addition
- Wayne Memorial 7th Floor Renovation

First Health Cancer Center

Orange County Crisis Diversion Center

Jonas Hill Behavioral Health Facility

Caldwell County Crisis Detox Center



Additional Relevant Experience



Alamance Regional Behavioral ED Renovations, NC
Akron Behavioral Health Renovation, OH

Caldwell Memorial Hospital UNC Health Care, NC

- Behavioral Health Facility Additional Services - Value Engineering
- Behavioral Health Facility Outdoor Patient Yard

The Centers Crisis Receiving Center and Detox Facility, Cleveland, OH

Cleveland, OH The Counseling Center of Wayne and Holmes Counties - Residential Crisis Stabilization Facility, OH

The Counseling Center of Wayne and Holmes Counties - Residential Crisis Stabilization Facility, OH

Euclid Behavioral Health Renovation, Euclid, OH

FirstHealth Moore Regional Hospital Labor and Delivery Renovation, NC

Heritage Valley Health System ((in collaboration with UPMC WPH), PA

- Kennedy: New 24 bed adult inpatient unit
- Ohio Valley Hospital - Behavioral Health Unit

Highlands Hospital: New 26-bed Adult Inpatient Units, PA

Hospital Behavioral Health and Maternity Addition, NY

Marymount Behavioral Health Renovation, OH

Mount Nittany Medical Center Women's and Children's, PA

Mission Health PEA II Renovations – Behavioral Holding, NC

Murphy Medical Center (Now Erlanger Western Carolina) – Behavioral Holding, NC

Oakview Behavioral Health Renovation/Addition, OH

Punxsutawney Hospital 240 West Mahoning Street Substance Abuse Counseling, PA

RHA Wilmington Crisis & Detox Feasibility Study, NC

Road to Hope Female Recovery Housing Project, OH

Rochester General Hospital Women's Health Clinic, NY

Rochester Regional Health Clifton Springs Hospital and Clinic CPEP, NY

RWJ Barnabus, NJ

- ACC Women's Center Alterations
- Monmouth Pollak Pavilion Renovations (Substance Use Counseling)

Smokey Mountain Wilkesboro Crisis & Detox Feasibility Study, NC

St. Vincent Charity Medical Behavioral Health Crisis Care Center Planning, Cleveland, OH

UPMC multiple clinics and inpatient facilities, PA

- Western Psychiatric Hospital (WPH): various inpatient units throughout the building
- Western Psychiatric Hospital (WPH): various outpatient clinics.
- Western Psychiatric Hospital (WPH):schizophrenia outpatient clinic

A Safe Haven, Thoughtfully Reimagined

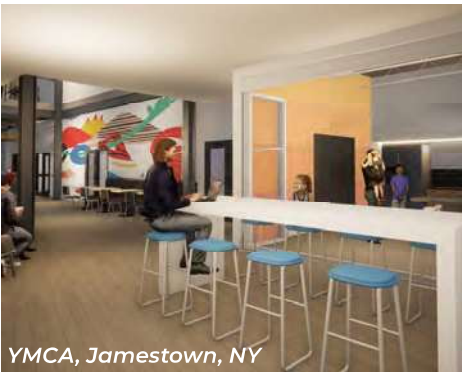
Creating Uplifting Environments for Women and Their Children



Community Center, City of Belmont, NC



Library and Active Living Center,
Cabarrus County, NC



YMCA, Jamestown, NY



Sticht Center Behavioral Unit Renovations, Wake Forest Baptist Medical Center, NC



Atlanta-Fulton Public Library System,
Atlanta, GA



York CSD STEAM Project, Retsof, NY



Community Center, City of Belmont, NC

Workload of the Firm

CPL is not currently undertaking any new work that would affect the dedication of our team to the County. As a firm of over 500 employees, we have adequate reserve staffing to cover any contingencies. Our team is in a position to start your project upon notice to proceed and to complete it within a reasonable time frame. We will engage appropriate client representatives upon notice to proceed, laying out critical paths, goals and milestones.

CURRENT PROJECTS

PROJECT	COMPLETION
Alamance County Development Services Renovation	Dec 2025 (Construction)
Warren County Community and Senior Center	2025
Greenville, SC Community and Recreation Center	2025 (Design)
Hayes Taylor YMCA Ph 2 Childcare Wing	2025 (Construction)
Hendersonville Community and Aquatic Center Master Plan	2025 (Design)
Cone Health Neuro Clinic	2025
Orange County Facility Based Crisis Center	2026
Atrium Health Wake Forest Baptist Chiller Replacement	2026 (Construction)



Hayes Taylor YMCA, Greensboro, NC

CPL's Work in NC Government Facilities

We blend what we learn in identifying how space is currently being used with our thoughts on how it can better accommodate future growth. Documenting the current use allows us to ask questions of key stakeholders on what we observe, adding a layer of base knowledge that will help us evaluate accommodation of future growth.

	Alamance County	Buncombe County	City of Lexington	Guilford County	Montgomery County	Randolph County	Yadkin County	City of Archdale	Town of Elon	City of Asheville	City of Burlington	City of Durham	City of Greensboro	City of Mebane	City of Thomasville	City of High Point	Montgomery County
AREA SPACES																	
Facilities / Capital Projects	●	●		●	●					●		●	●	●			●
Finance and Management	●	●		●	●			●	●		●			●			●
Human Resources	●	●		●	●			●			●			●			●
Internal Audit	●	●		●	●						●						
Planning & Development Services	●	●		●	●			●	●		●			●			●
Transportation / Transit										●		●	●			●	
Fleet Operations / Public Works	●	●		●								●	●	●		●	
Purchasing	●	●		●	●			●	●		●			●			●
Information Services (IT)	●	●		●							●			●			
Risk Management	●	●		●	●						●						●
Police / Public Safety / Sheriff	●	●	●	●	●		●							●		●	●
Parks and Recreation	●	●		●				●	●		●		●	●	●	●	
Legal	●	●		●	●	●					●			●			●
Office of County / City Manager	●	●		●	●			●	●		●			●	●		●
Event Spaces/Public Gathering	●	●			●	●				●	●		●	●	●		●
Fire	●	●									●		●	●			
Courts	●	●		●	●	●											●

Delivering Hope: Our Approach to Program Delivery

We understand that the Volunteers of America have experience with this project type and have worked diligently with Guilford County to ensure the existing building is well-suited to support women and children in this space. CPL also brings a level of trauma-informed design (TiD) and human-centered design (HCD) experience to further the design process and collaboration to enhance the design of a healing, safe, and hopeful space.

TRAUMA-INFORMED DESIGN APPROACH

When using a trauma-informed approach to the design process, there are two fundamentals that must be addressed:

- Go **beyond understanding** who will use the space, by getting **to know** them.
- Then, use that information to predict and **mitigate possible triggers** and **reduce the stress** within the environment.

A true trauma-informed design creates a space that promotes safety, well-being, belonging, and healing.

This approach to design aligns with SAMHSA's (Substance Abuse and Mental Health Services Administration) principles of trauma-informed care. The key components addressed to create a safe environment are listed below:

- Equity
- Empowerment & Voice
- Play
- Comfort
- Movement
- Community
- Trustworthiness & Transparency
- Choice
- Collaboration & Mutuality
- Peer Support



HUMAN-CENTERED DESIGN APPROACH

Human-centered design (HCD) prioritizes the **needs, perspectives, and experiences** of the people who will use the design, or who are interested in its success, through **direct interaction and empathy** from the start of the project through the design process and after construction is complete. This may include, but is not limited to:

- Staff
- Contractors
- Partners
- County staff
- The general public
- Visitors
- Patients
- Guests
- Operators (VoA)

A Non-Traditional Approach

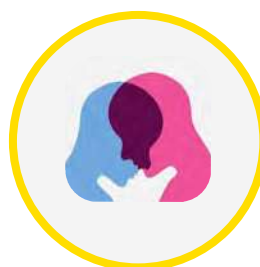
A typical design process involves designers and architects creating a space for users, which limits the complexity of humans into “users.” The human-centered approach broadens the influence of the end users so that they can inform the design based on aspects of their lived experiences. When we align human-centered design with trauma-informed design, we allow **empowerment, voice, choice, and collaboration** to be a natural part of the design process.

The HCD process is intended to identify and mitigate potential stressors, enhancing the sense of safety created in the space. Research suggests that when all invested parties are engaged throughout the design process, there are more innovative design concepts brought forward and overall improved user satisfaction.

There are several key principles of HCD that are essential to a Trauma-informed Design project:



**Collaboration &
Human Focused**



**Empathy &
Contextual
Understanding**



**Inclusivity &
Diversity**



Empowerment



Iteration & Adaptability



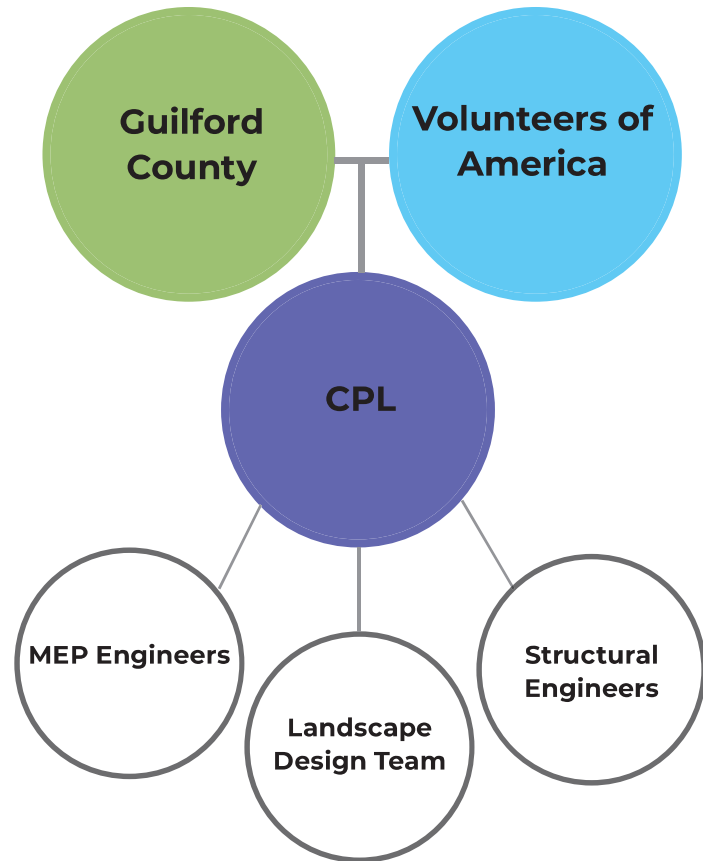
User Advocacy

HOW DO WE DO IT?

CPL has experience in both the trauma-informed design along with the human-centered design approach. We have successfully designed projects using this approach, and even along with an operator similar to Volunteers of America. We have partnered with RHA Health Services as an operating consultant, as well as an operator of facilities we have designed. Start to finish, they have been at the table as and advisor for behavior health and substance use facility design.

We believe that all parties have a voice and have learned some of our greatest design lessons from operating partners and their staff. We approach the design process with our book of expertise AND an open mind.

Proposed Project Communication Chart



Everyone has a seat at the table.

Everyone's voice deserves to be heard.

Everyone brings something valuable to the design of the space.

Our Commitment to Innovative Design

It is our job as architects and designers to listen, prioritize, then develop the design into something that meets the needs of the humans that will use the space. The design process is laid out in 5 basic steps below. Each step of the way, we stay focused on the fundamental principles of trauma-informed design and human-centered design.

Discover

Setting the Scene: Our process kicks off with research well before any meetings, exploring project history, location and demographics. We invest time connecting with both people and place, aligning emerging design opportunities with client goals to create a foundation of shared understanding.

Dream

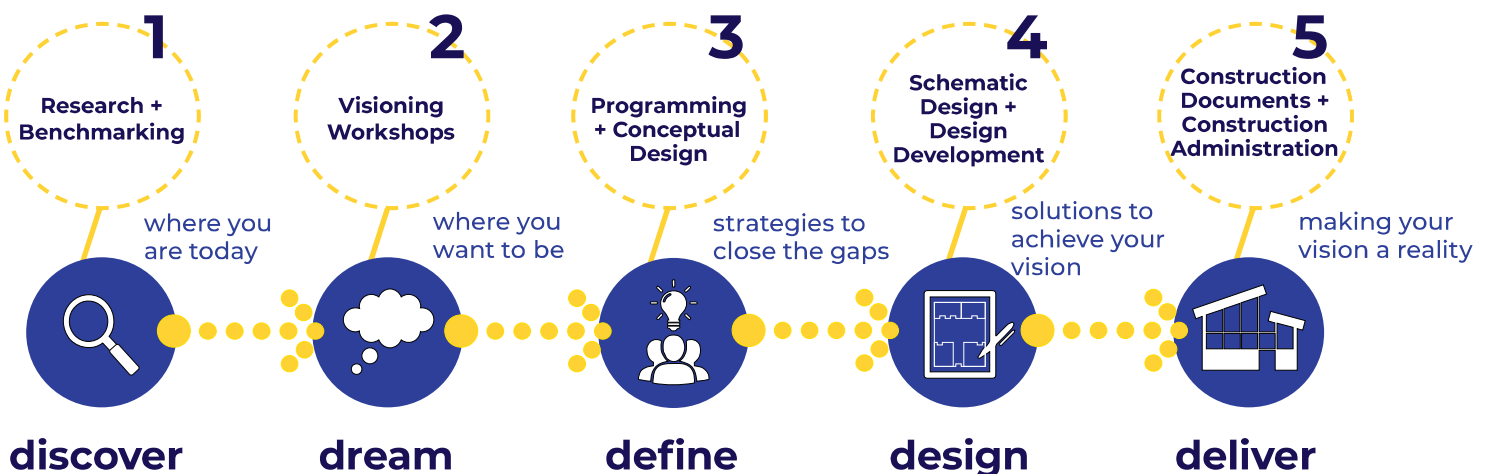
Visioning with Impact: Once we know where the project stands today, we explore where it needs to be tomorrow, considering desired community impact... the “why” driving the work. These crucial insights guide every decision, bringing the project’s essence to life.

Define + Design

Unveiling the Dream: Leveraging this direction, we continue refining concepts, with the destination becoming more tangible every day.

Deliver

Translating the Vision: We invest time connecting with both people and place, aligning emerging design opportunities with client goals to create a foundation of shared understanding.



Recent Experience with Project Cost & Schedule

For each of these projects, our scope of work was similar to that requested for the Women with Children Recovery Program renovation project and each were recently completed. Each project was completed (or is) on schedule.

PROJECT	COST	ON-TIME
City of New Bern Stanley A. White Recreation Center	\$14 M	X
Town of Kenersville Community & Recreation Center	\$19.3 M	X
City of Belmont Recreation Center	\$14 M	X
Hayes-Taylor YMCA Childcare Expansion	\$3.6 M	X
Buncombe County 35 Woodfin Renovation	\$20 M	X
Buncombe County Fleet and General Services Center	\$4 M	X
Atrium Health Cabarrus Vascular Lab Upfit	\$4.5 M	X
Atrium Health Pineville 7th Floor ICU Upfit	\$14 M	X

Construction Administration & Inspection



Ensuring proper observation and monitoring during construction is critical to project success. The Project Manager, responsible for preparing project documents, oversees administration from design through completion, providing clients with a seamless transition throughout all phases.

Supported by the Principal-in-Charge, the Project Manager conducts regular site visits, with field reports delivered to the Owner and Contractor within two to three days. Their direct involvement allows for immediate responses to requests and ensures effective communication among all project stakeholders. When resident observations are included, construction compliance and quality assurance/quality control (QA/QC) are further enhanced.

CPL is committed to handling claims and disputes fairly, efficiently, and in accordance with the Construction Contract. Communication is key to resolving disputes, and we work closely with the Owner and Prime Contractors to address challenges in a collaborative

manner. When Change Orders are necessary, CPL requires detailed documentation and cost breakdowns from the Contractor to verify that the Owner is paying a fair price for additional work. We are diligent in securing this documentation and, once received, can prepare and submit the Change Order within two to three days.

The Project Manager coordinates the Final Inspection and remains engaged to ensure all close-out documentation is received and that Punch List items are completed and corrected. A project is not considered finished until these requirements are met.

With a portfolio of projects ranging from \$10,000 to \$60 million, CPL understands staffing requirements and can provide qualified inspectors on short notice for various assignments. Through comprehensive construction administration, proactive dispute resolution, and a commitment to quality assurance, CPL ensures that every project meets the highest standards of excellence.

CPL's Office Proximity

CPL will service this project from our Greensboro offices at 400 Bellemeade Street, which is less than a half hour from the site.

Our office is located in Greensboro, North Carolina—less than 20 minutes from the project site in High Point—allowing for efficient, flexible coordination and frequent site visits as needed.

Our team also brings long-standing familiarity with the project site and surrounding area. In the early 1990s, Alan Cox and Ken Mayer led the original design of the Gibson Park building when it was established as a cutting-edge residential substance abuse treatment center and Ron Davis was also the original plumbing and fire protection designer on the original building. More recently, we conducted a comprehensive facilities assessment of the building, giving us up-to-date, firsthand insight into its current condition, operational challenges, and opportunities for improvement. This continuity of involvement positions us to hit the ground running with a clear understanding of both the building's legacy and its future potential.

North Carolina Locations

<u>Greensboro</u> 400 Bellemeade St., Suite 401 Greensboro, NC 27401 336.373.9800 (Staff of 31)	<u>Raleigh</u> 1111 Haynes St., Suite 100 Raleigh, NC 27604 919.833.6064 (Staff of 15)	<u>Charlotte</u> 3600 South Boulevard Station 4, Suite 500 Charlotte, NC 28209 704.331.9131 (Staff of 37)
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Our Record of Success (Legal/Litigation)

CPL (the “Firm”) does not provide, (as a matter of policy), confidential personal or contract information regarding our staff or clients. In the last five years, CPL has not been involved in any project related litigation or arbitration proceedings that have resulted in a finding or judgment of negligence or malpractice as it pertains to the professional services provided by the Firm. There have been no material settlements paid over the past five years, and all claims have been covered by the Firm’s professional liability carrier without exception.



Library and Active Living Center, Cabarrus County, NC



OneStop Centerville Community Center, NC

5 References

Client References

CPL is proud of the work we accomplish in our local communities and feel that our clients are proud of the buildings we create for them, too. We have provided contacts for related projects referenced within our submittal who will be a reference for the expertise, commitment and passion we exude when doing the work we love.

Jonas Hill Hospital, Caldwell UNC Health Lenoir, NC

Jim Smith, Director Facility Services
828.757.5153, jim.smith@caldwell-mem.org

Orange County Behavioral Health Crisis Facility Hillsborough, NC

Travis Myren, County Manager
919.245.2300, tmyren@orangecountync.gov

Adolescent and Pediatric Behavioral Health Unit at Atrium Health Wake Forest Baptist Medical Center Winston-Salem, NC

Bill Payne, Vice President of Facilities Management
743.999.1769

35 Woodfin and Family Justice Center Buncombe County, NC

Scott Metcalf, Facility and Project Manager
828.250.4250, scott.metcalf@buncombecounty.org

Senior Resources of Guilford, NC

Ellen Whitlock, Chief Executive Officer
336.373.4816

YMCA of Greensboro, NC

Rhonda Anderson, President/CEO
rhonda.anderson@ymcagreensboro.org

Community Foundation of Greater Greensboro, NC

H. Walker Sanders, President
wsanders@cfgg.org

CPL's goal is to build long-term relationships based on client confidence and excellent performance.





6

Minority Business Participation Plan

FORM #1
Minority Business Participation
Attach To Proposal

I, CPL Architects and Engineers, P.C.

(Name of proposer)

do hereby certify that on this project, we will use the following MBE or WBE NC HUB-certified firms as sub-consultants, vendors, suppliers, or providers of professional services.

Firm Name, Address and Phone#	Work Type	*Minority Certification	Ethnicity	Amount	Percent
BREE & Associates, Inc. - 5315 Highgate Dr. Durham, NC 27713, 919.806.2255	Cost Planning	MBE	Black	TBD	2%
Lynch Mykins - 301 N. West St. Raleigh, NC 27603, 919.782.1833	Structural Engineering	WBE	White	TBD	10%
Revington Reaves - 1250 Revolution Mill Dr. Greensboro, NC 27405, 978.793.2297	Landscape Architecture	WBE	White	TBD	3-4%
TOTAL					15-16%

* HUB Certification with the NC State HUB Office as an MBE or WBE is required to be counted toward state participation goals in addition to being in Guilford County's 27 County Relevant Market

The total dollars on which minority business participation is calculated** (\$) _____

The total value of minority business contracting will be** (\$) TBD

The total percentage of minority participation is** (%) 15-16%

**** All calculations are based on the total base proposal amount.**

FORM #2
Minority Outreach Call Log
 Attach To Proposal

Project Renovations for the Women with Children Recovery Program at Gibson Park **Proposer:** CPL Architects and Engineers, P.C.

Use additional sheets as are necessary

Company Name Address & Phone		Date	Time	Diversity Category	Trade	Comment	Follow Up
Name:	BREE Assocaites	4/14/2025	2:15pm	MBE	Cost Planning	Committed to team	
Phone #:	919.806.2255						
Address:	5315 Highgate Dr.						
State/Zip	Durham, NC 27713						
Name:	Revington Reaves	4/14/2025	2:28pm	WBE	Landscape Architecture	Committed to team	
Phone #:	978.793.2297						
Address:	1250 Revolution Mill Dr.						
State/Zip	Greensboro, NC 27405						
Name:	Lynch Mykins	4/14.2025	2:37pm	WBE	Structural Engineer	Committed to team	
Phone #:	919.782.1833						
Address:	301 N. West St.						
State/Zip	Raleigh, NC 27603						
Name:							
Phone #:							
Address:							
State/Zip							
Name:							
Phone #:							
Address:							
State/Zip							
Name:							
Phone #:							
Address:							
State/Zip							

FORM #3
GOOD FAITH EFFORTS
AFFIDAVIT A
Attach To Proposal

Affidavit of CPL Architects and Engineers, P.C.
 (Name of Proposer)

Proposers must earn at least 50 points from the good faith efforts listed for their proposal to be considered responsive. A proposer may submit a Self-Performance Affidavit in lieu of meeting the established goal or submitting Good Faith Efforts.

(1 NC Administrative Code 30 I.0101)

- ☒ **1 – (10 pts)** Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government-maintained lists, at least 10 days before the proposal due date and notified them of the nature and scope of the work to be performed.
- ☒ **2 --(10 pts)** Made the specifications, and requirements available for review by prospective minority businesses or providing these documents to them at least 10 days before the proposals are due.
- ☒ **3 – (15 pts)** Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- ☐ **4 – (10 pts)** Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the proposal documents that aid in recruitment of minority businesses.
- ☐ **5 – (10 pts)** Attended Pre-Proposal meetings scheduled by the public owner.
- ☐ **6 – (20 pts)** Helped in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- ☒ **7 – (15 pts)** Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- ☐ **8 – (25 pts)** Helped an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the proposer's suppliers to help minority businesses in establishing credit.
- ☐ **9 – (20 pts)** Negotiated joint venture and partnership arrangements with minority businesses to increase opportunities for minority business participation on a public construction or repair project when possible.
- ☐ **10 - (20 pts)** Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash-flow demands.

**FORM #4
SELF PERFORMANCE
AFFIDAVIT B
Attach To Proposal**

Affidavit of CPL Architects and Engineers, P.C.
(Name of Bidder/Proposer)

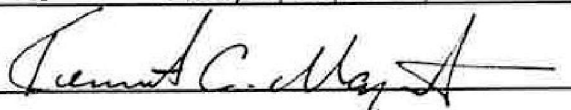
I hereby certify that it is our intent to perform 100% of the work required for the contract:
Renovations for the Women with Children Recovery Program at Gibson Park
(Name of Project)

In making this certification, the Bidder/Proposer states that the Bidder/Proposer does not customarily subcontract elements of this type of project, and normally performs and has the capability to perform and will perform all elements of the work on this project with his/her own current work forces; and

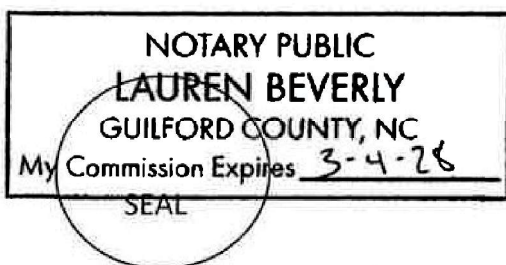
The Bidder/Proposer agrees to provide any additional information or documentation requested by the owner in support of the above statement. The Bidder/Proposer agrees to make a Good Faith Effort to utilize minority suppliers where possible.

The undersigned hereby certifies that he or she has read this certification and is authorized to bind the Bidder/Proposer to the commitments herein contained.

Date: 4/21/2025 Name of Authorized Officer: Kenneth C. Mayer, Jr., FAIA, LEED AP

Signature: 

Title: Senior Vice President



State of NORTH CAROLINA County of GUILFORD

Subscribed and sworn to before me this 3rd day of APRIL 2025

Notary Public 

My commission expires 3-4-28



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Addendum Acknowledgment Form

ADDENDUM ACKNOWLEDGEMENT

Renovations for the Women with Children Program at Gibson Park
Title of Project

20271
Bid Number

Receipt of the following Addendum is acknowledged:

Addendum no. 1 Date 4/7/2025

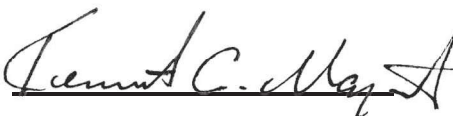
Addendum no. 2 Date 4/8/2025

Addendum no. 3 Date 4/8/2025

Addendum no. 4 Date 4/8/2025

Addendum no. 5 Date 4/14/2025

6 4/15/2025

Signature:  Date: 4/21/2025

Title Kenneth C. Mayer, Jr., FAIA, LEED AP - Senior Vice President

CPL Architect and Engineers, P.C.
Name of Firm



Your Vision, Unlocked.

MISSION-CRITICAL THINKING THAT TRANSFORMS
WHAT'S POSSIBLE IN HEALTHCARE.

Rachel F. Nilson, AIA, NCARB

Principal-in-Charge

518.892.7310

RNilson@CPLteam.com

Maggie Gordon, RID, NCIDQ

Principal

704.331.9131

MGordon@CPLteam.com



Oakview Behavioral Health Center Renovation & Addition



CPL Architects and Engineers, P.C.

255 Woodcliff Drive
Suite 200
Fairport, NY 14450

License: 51301

Status: ACTIVE

Disciplinary Action: NO

[Create a certificate \(getcertif.asp?51301\)](#) for this firm.

[Search \(searchdb.asp\)](#) again.

